



**Comhairle Contae
Dhún na nGall**
Donegal County Council

Planning Services

RECEIVED DATE: 10/04/2025



**Comhairle Contae
Dhún na nGall**
Donegal County Council

SECTION 5 APPLICATION

FOR DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

Completed application form & supporting documentation to be returned to the Planning Authority by email to planning@donegalcoco.ie

| | |
|---|--|
| Name of Applicant(s): | Mr Brian Doohan |
| Agent Name: (if applicable) | Malachy McMahon - Arta Design |
| Location of Proposed Development / Works: (Townland or postal address as appropriate and Eircode if available) | Sea View, West End, Tory Island, Donegal |
| Description of Proposed Development including details of works (where applicable): (Only works listed below will be assessed under this section 5 application) | |
| <p>Refurbishment & Extension of existing semi-detached house to include a single storey extension to the front of the house and a single storey extension to the rear of the house. Adjusting existing window openings, new windows, new roof with roof windows, external Insulation wrap, installation of an air-sourced heat pump & internal alterations.</p> | |



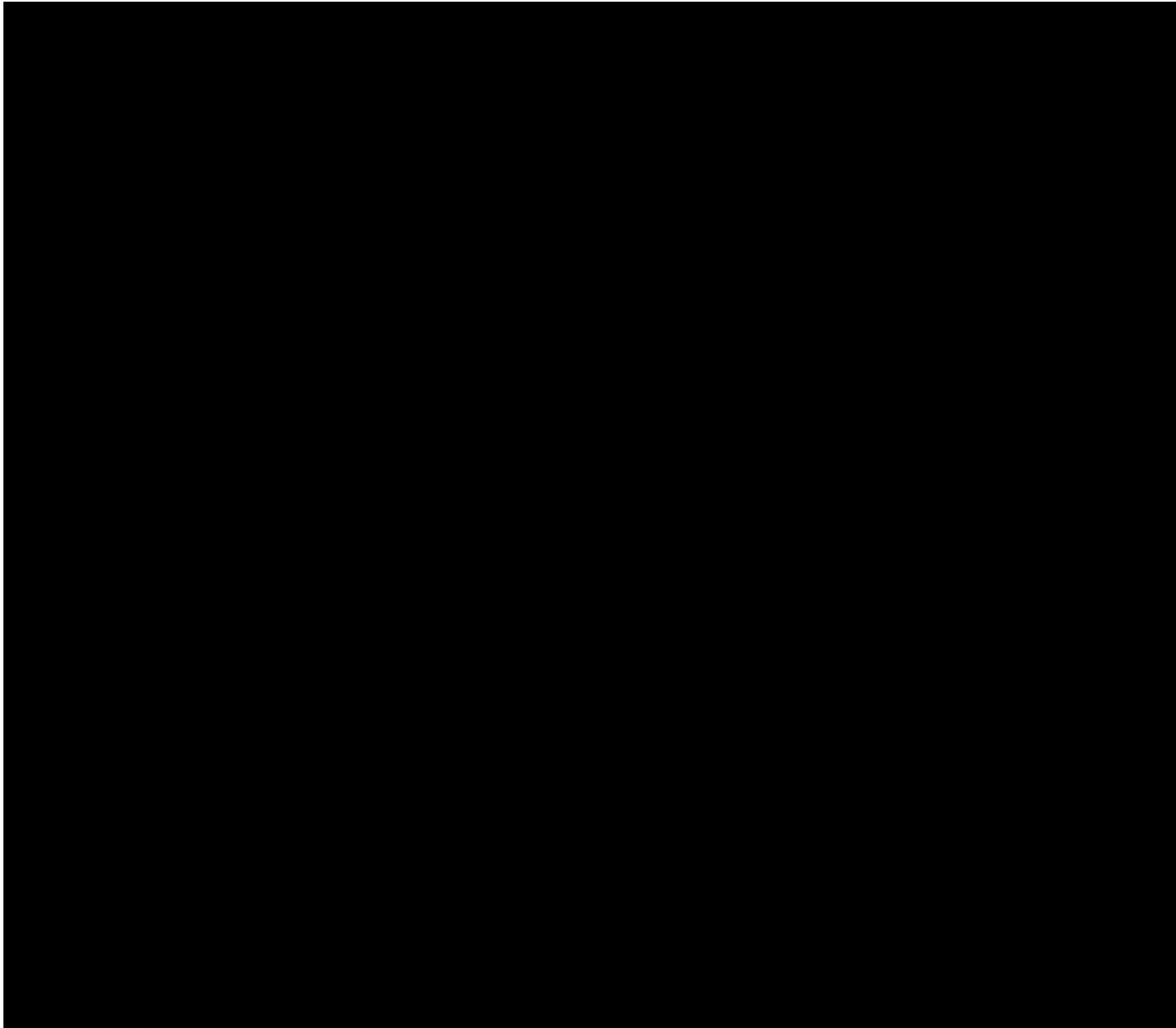
| | | |
|--|---|-----------|
| Is the development a Protected Structure or within the curtilage of a Protected Structure? | Yes | No |
| | | NO |
| Has a declaration under Section 57 of the Planning and Development Act 2000 (as amended) been requested or issued in respect of the property. | Yes | No |
| | | NO |
| Applicant(s) Interest in the site: | OWNER | |
| If not the Owner of the site, please provide the name of the Landowner: | | |
| Please list types of plans, drawings etc. submitted with this application: | Existing & proposed plans, elevations, sections, M&E layouts, door and window schedules and 3D drawings | |
| Planning History - list any relevant planning application reference numbers: | None | |
| Are you aware of any enforcement proceedings connected to the site? If so, please supply details: | Unaware | |

| | |
|--|------------------------|
| I hereby certify that the information provided is true and accurate | |
| Signature of Applicant/Agent: | Malachy McMahon - Ager |
| Date: | 09/04/2025 |



**Comhairle Contae
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Additional Contact Information



Telephone No.

Email Address:

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|--|--|
| | |
|--|--|



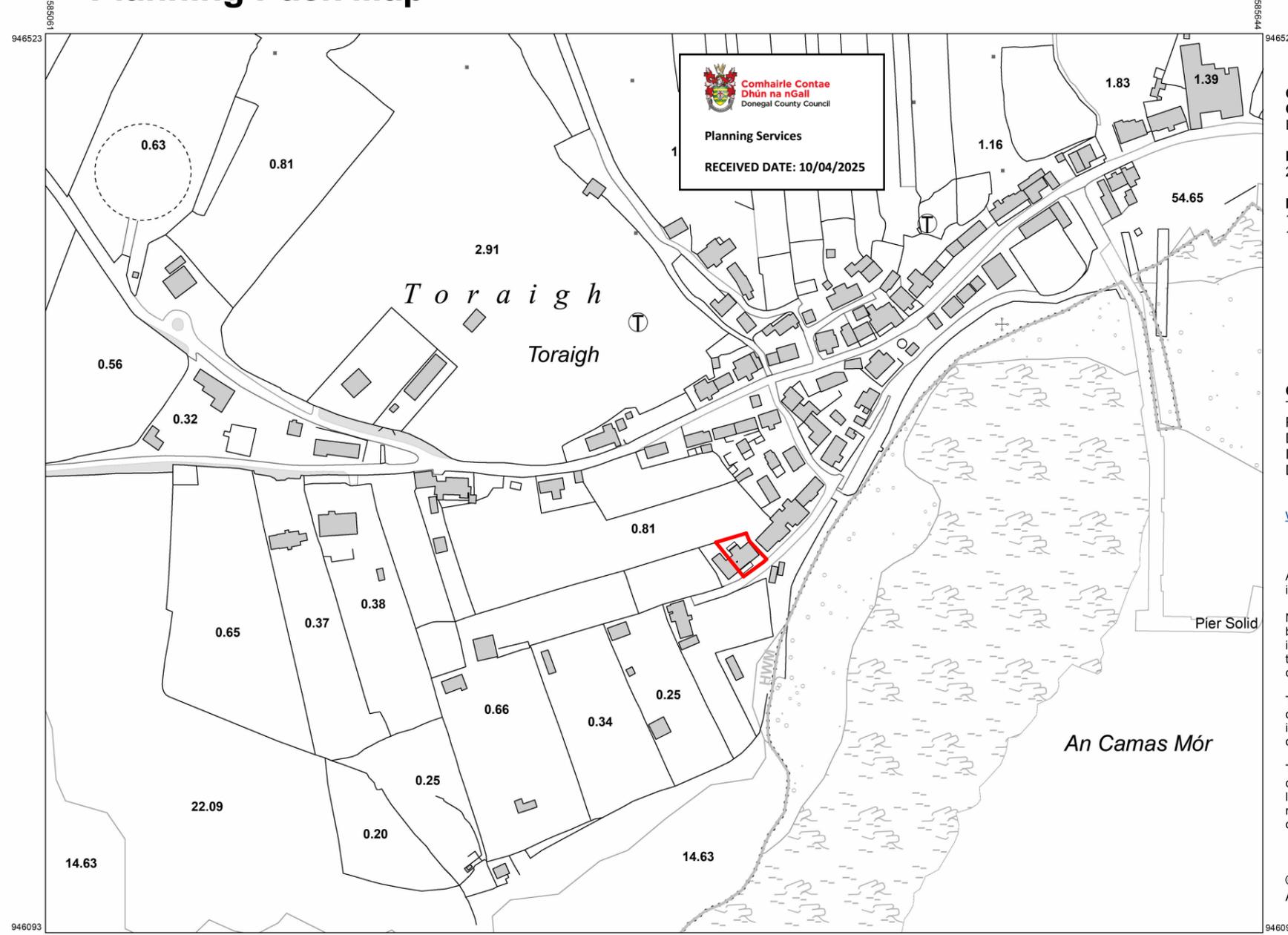
Advice to Applicant

- (a) **Prescribed Fee** - €80.00 - You may wish to pay the fee by card by ringing the cash office on 074 9153900. Please note the receipt number in your cover email with the form.
- (b) Application must be accompanied by:
- **Site location map** with site clearly outlined in red (to a scale of not less than 1:1000 in built up areas and 1:2500 in all other areas).
 - **Site layout plan** (Site or layout plans shall be drawn to a scale (which shall be indicated thereon) of not less than 1:500 or such other scale as may be agreed with the planning authority prior to the submission of the application, the site boundary shall be clearly delineated in red).
 - **Elevations** (if applicable) – (plans, elevations and sections drawn to a scale of not less than **1:200**).
 - **Other details** (e.g. landowner consent (if applicable), photographs as appropriate).
- (c) Completed application form & supporting documentation to be returned to the Planning Authority **by email** to planning@donegalcoco.ie
- (d) More information on exempted development can be found on the OPR planning leaflets available at <https://www.opr.ie/planning-leaflets/>

Planning Pack Map



Tailte Éireann



CENTRE COORDINATES:
ITM 585353,946308

PUBLISHED: 25/03/2025
ORDER NO.: 50456596_1

MAP SERIES: 1:2,500
MAP SHEETS: 0024-A, 0024-C

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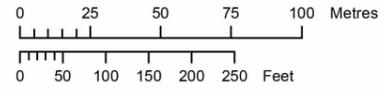
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This topographic map does not show legal property boundaries, nor does it show ownership of physical features.

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OUTPUT SCALE: 1:2,500

CAPTURE RESOLUTION:
The map objects are only accurate to the resolution at which they were captured. Output scale is not indicative of data capture scale. Further information is available at: www.tailte.ie; search 'Capture Resolution'

LEGEND:
To view the legend visit www.tailte.ie and search for 'Large Scale Legend'



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architecture planning project management

THE GARDEN STUDIO 76 LANSDOWNE ROAD BELFAST BT15 4AA

Tel. no. 07711747226
Email. malachy@arta.uk.com

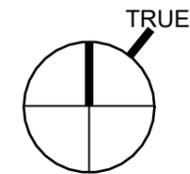
Client: MR BRIAN DOOHAN

Project: SEAVIEW TORY Co. DONEGAL

Title: SITE LOCATION PLAN

Scale: Date: 09/04/2025 Drawn: Author 13:27:16

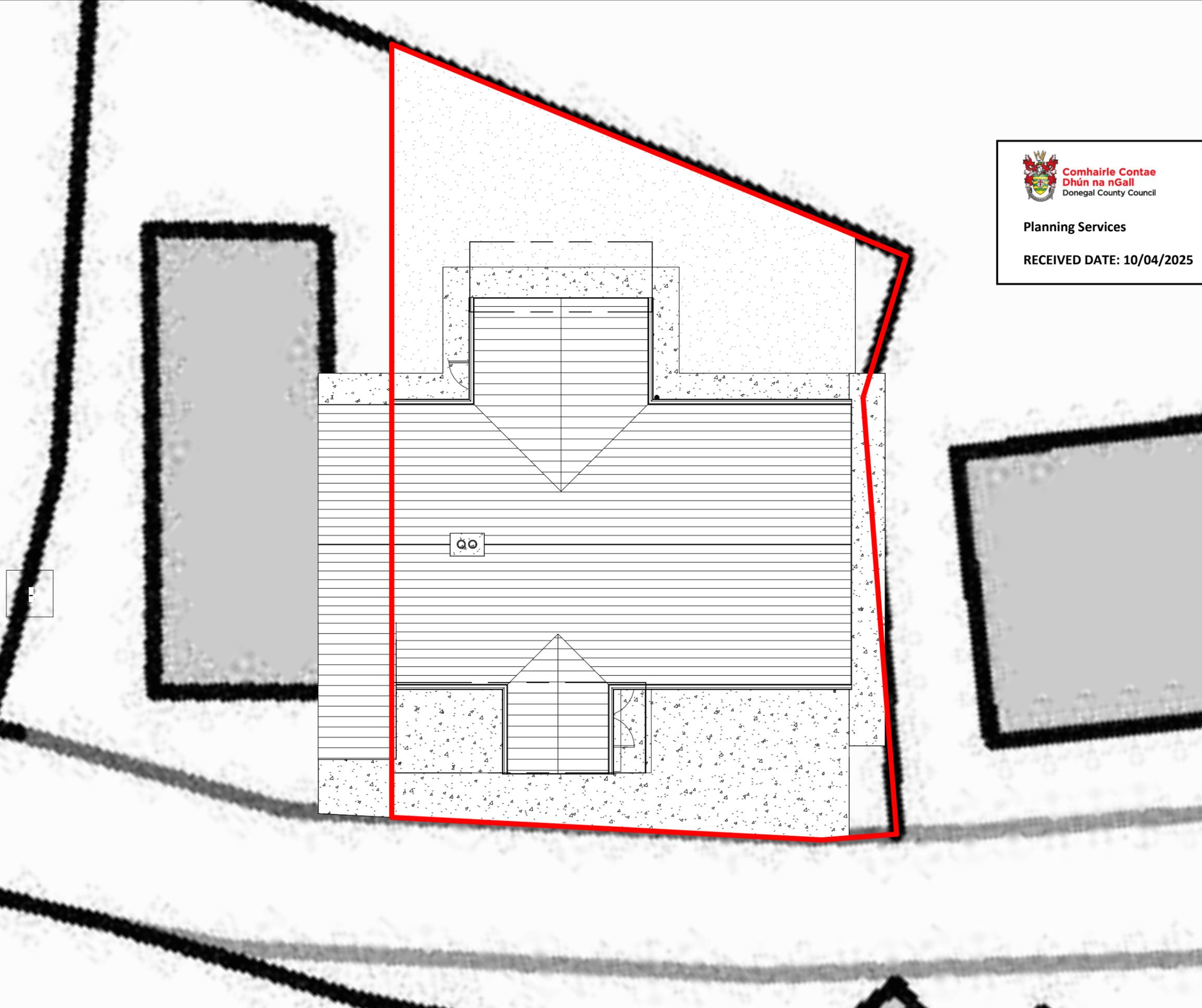
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Planning Services

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Email. malachy@arta.uk.com

Client:
MR BRIAN DOOHAN

Project:
SEAVIEW TORY Co. DONEGAL

Title:
EXISTING SITE LAYOUT

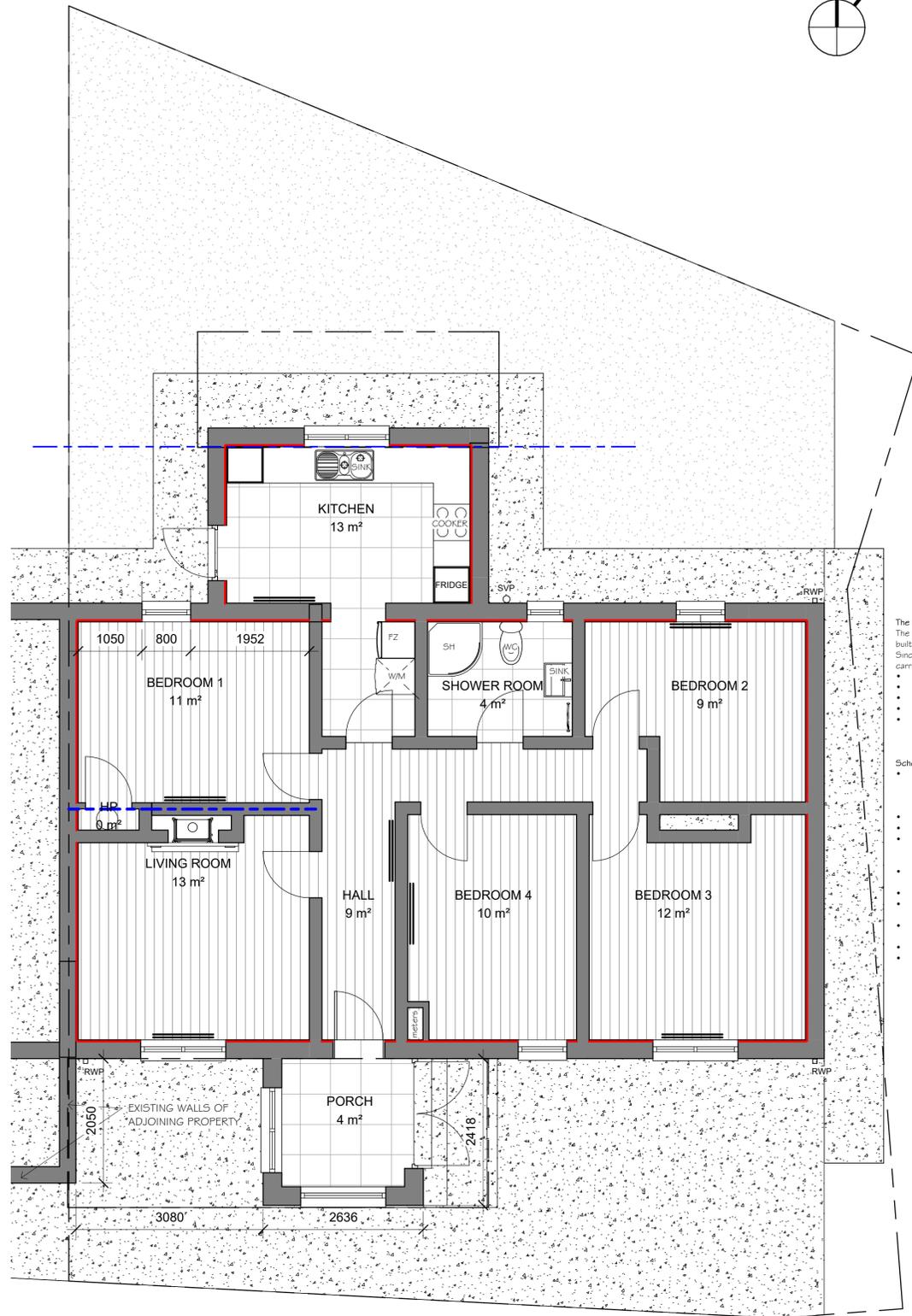
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Dwg no: 25/104/S02

1

EXISTING SITE LAYOUT

1 : 100



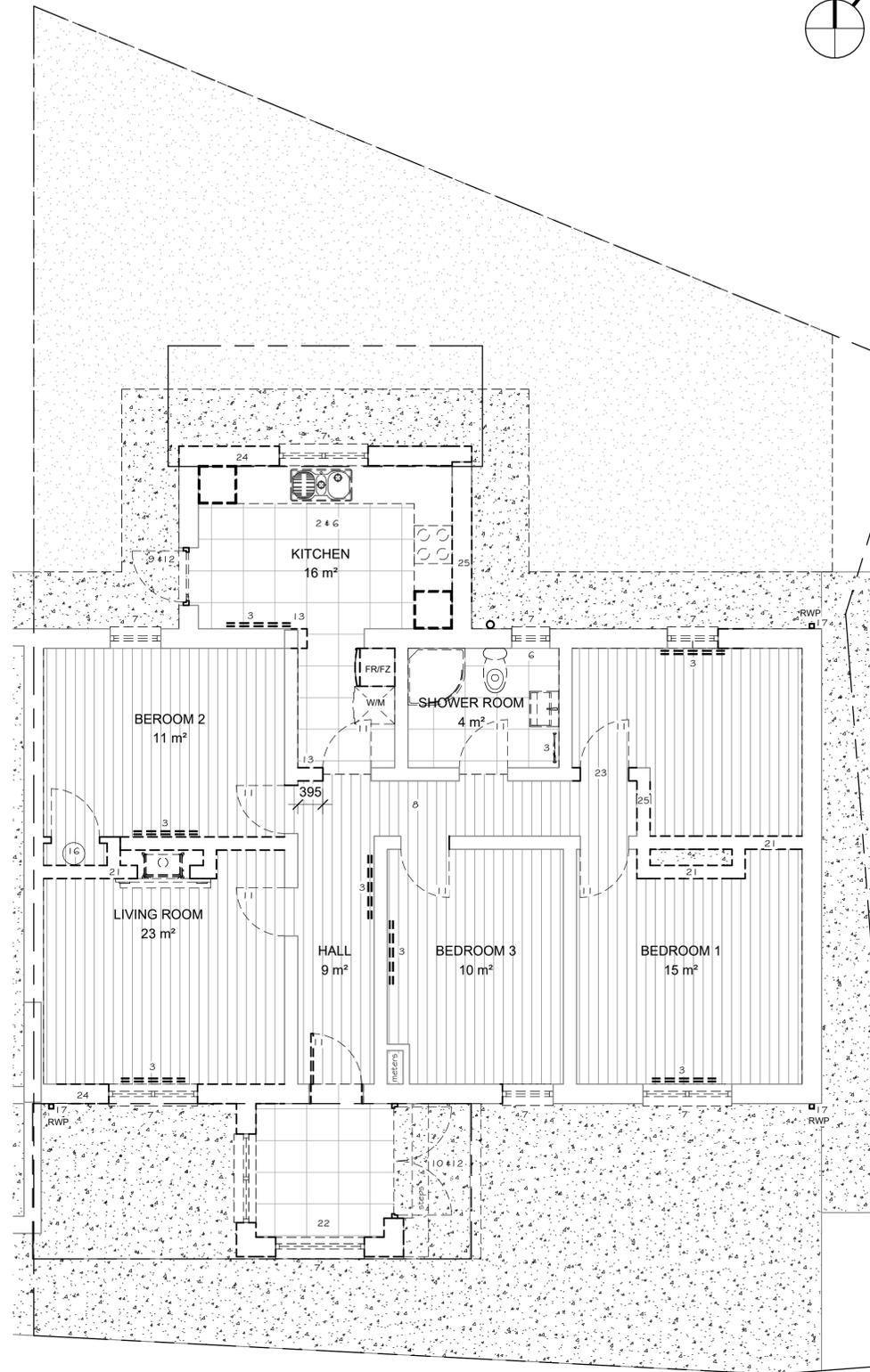
1 EXISTING GROUND FLOOR PLAN
1 : 50

The House:
The house is a single storey semi detached property and was built in 1969.
Since the house was built the following is a list of additional work carried out:

- Built in 1969.
- Oil fired central heating added in 1988.
- Double glazed UPVC windows fitted in 1992.
- Roof reslated in 1996.
- External walls lined internally with 25mm thick insulated plasterboard in 1999.

Schedule of Existing finishes & type of construction:

- External Walls: 9" solid poured concrete (walls were shuttered and concrete poured) and rendered externally, plastered internally and lined with 25mm insulation and plasterboard with a skim finish.
- The external walls do not have a horizontal DPM.
- Internal Walls: 7" concrete block plastered both sides.
- Roof: Fibre Cement slates (low quality) on slating battens on 2" felt on 115x50mm rafters - cut roof construction.
- Floors: Concrete floor with screed. No insulation or DPM present.
- Windows: Double glazed PVC.
- Doors: External doors are UPVC and internal doors are hardwood, varnished.
- Heating System: Oil fired boiler with hot water cylinder (Bedroom 1) for hot water storage.
- Foul Drainage: To Septic Tank.
- Storm Drainage: To Soakaway.



- SCHEDULE OF DEMOLITIONS:**
- All items shown dashed to be removed from site.
 - Remove existing kitchen units and disconnect all services.
 - Remove all radiators - (9 No.)
 - Remove floor coverings, to include wooden & tiled floor finishes
 - Remove skirting boards, architraves & internal window sills throughout.
 - Remove tiling from the walls in the shower room & kitchen.
 - Remove all windows & window sills throughout. (9 No.)
 - Grub up existing concrete floor throughout.
 - Remove concrete steps at back door.
 - Remove concrete steps at front door
 - Remove internal doors throughout the ground floor. (8 No.)
 - Remove the front and back doors including frames & thresholds.
 - Create a new opening from the hall to the kitchen and through wall from Utility Area. Approx. 910mm wide x 2100mm high. Door to kitchen to be relocated Approx. 395mm from its current location closer to the wall with Bedroom 2.
 - Remove existing oil boiler and associated pipework.
 - Remove existing oil tank and plinth.
 - Remove existing hot water storage cylinder in Bedroom 1.
 - Remove Existing SVP / RWP's.
 - Remove existing roof slates, battens & felt.
 - Remove all lead valleys.
 - Remove existing fascia & guttering.
 - Demolish the wall & chimney breast and remove chimney above roof level to the Living Room and Bedroom 2 and remove the chimney breast & separating wall in Bedroom 1.
 - Completely demolish the front porch and grub up foundations.
 - Remove door and section of wall to Bedroom 2 to allow for a new stair to serve a future loft conversion, while allowing access to existing attic storage area.
 - Demolish existing front wall to Living Room & rear gable to kitchen.
 - Create a structural opening to accept a new door & frame.

2 GROUND FLOOR DEMOLITIONS
1 : 50



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Client:
MR BRIAN DOOHAN

Project:
**SEAVIEW TORY COUNTY
DONEGAL**
Title:
**EXISTING FLOOR PLAN &
DEMOLITION PLAN**

Scale: 1 : 50 Date: 09/04/2025 Drawn: Author
13:27:20

Dwg no: **25/104/S03**



1 EXISTING FRONT ELEVATION
1 : 50



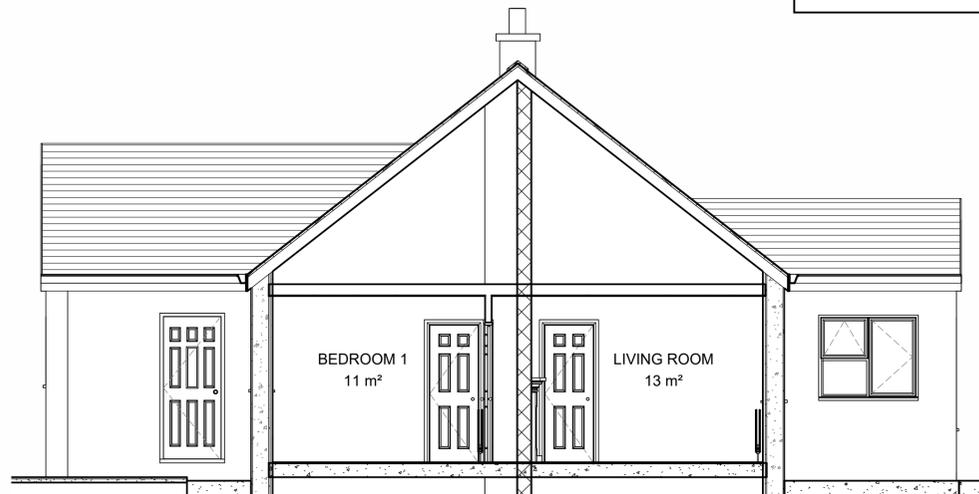
Front of house showing the Porch which is to be demolished



Front of house showing the Porch which is to be demolished and relationship with adjoining property



2 EXISTING REAR ELEVATION
1 : 50



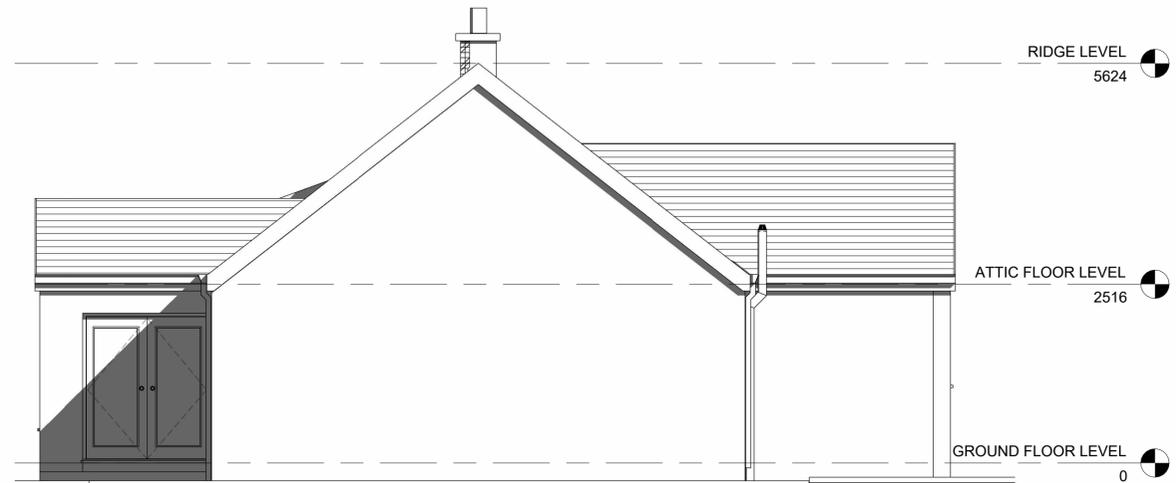
4 EXISTING SECTION B-B
1 : 50



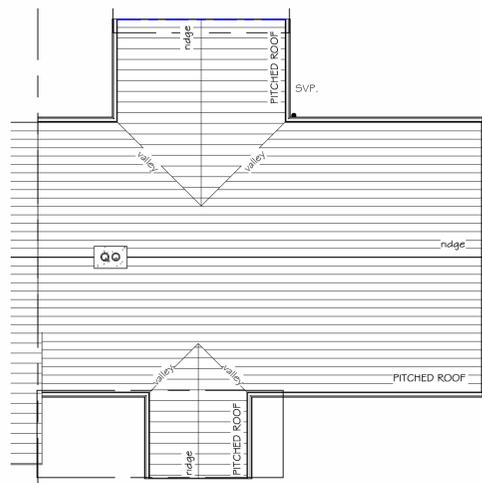
Rear of the Property showing Roof repair to Verge.



Slipped slates on existing roof.



3 EXISTING SIDE ELEVATION
1 : 50



5 EXISTING ROOF PLAN
1 : 100



Rear of house showing the Kitchen Return.



Rear of the Property showing Roof repair to Verge at kitchen return.



Existing slates not sitting flush with roof.



6 EXISTING 3D VIEW

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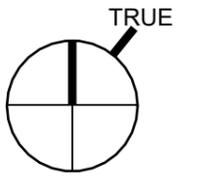
Client:
MR BRIAN DOOHAN

Project:
**SEAVIEW TORY COUNTY
DONEGAL**

Title:
**EXISTING ELEVATIONS,
SECTIONS & 3D VIEW**

Scale: As indicated Date: 09/04/2025 Drawn: Author
13:27:30

Dwg no: **25/104/S04**



Comhairle Contae
Dhún na nGall
Donegal County Council

Planning Services

RECEIVED DATE: 10/04/2025



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THE GARDEN STUDIO 76 LANSDOWNE ROAD
BELFAST BT15 4AA

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Client:
MR BRIAN DOOHAN

Project:
SEAVIEW TORY Co. DONEGAL

Title:
PROPOSED SITE LAYOUT

Scale: Date: 09/04/2025 Drawn: Author
13:27:34

Dwg no: 25/104/SL02

1

PROPOSED SITE LAYOUT

1 : 100

STAIRS, TIMBER CONSTRUCTION, LINED WITH FIRELINE BOARD.

Ground floor level : 0.00m
 First floor level : 2.650m
 Total rise : 2.650m

13 No. ners @ 204mm
 G+2R = 650mm
 Star pitch = 39.21 degrees.

THE UNOBSTRUCTED WIDTH OF THE STAIR BETWEEN THE HANDRAILS IS TO BE 800mm MIN. A HAND RAIL IS TO BE PROVIDED EACH SIDE OF THE STAIR AND IS TO BE BETWEEN 40-50mm IN DIAMETER AND LOCATED 50mm FROM THE WALL. THE HANDRAILS ARE TO EXTEND 300mm HORIZ. ALONG THE TOP AND BOTTOM LANDINGS.

LANDINGS ARE NOT TO BE LESS THAN THE WIDTH OF THE FLIGHT, 800mm.

HANDRAILS ARE TO BE 900mm ABOVE THE PITCH LINE OF THE STAIRS.

A MINIMUM HEAD CLEARANCE HEIGHT OF 2000mm IS TO BE MAINTAINED OVER THE FULL FLIGHT OF THE STAIRS.

1.100m HIGH BALUSTRADES / GUARDING TO STAIRS TO PROVIDE A MINIMUM HORIZONTAL FORCE PER METRE RUN OF 0.36kN/m AND BE CONSTRUCTED SO THAT A 100mm SPHERE CANNOT PASS THROUGH ANY OPENING IN IT.

THE GUARDING SHALL BE CONSTRUCTED SO THAT A CHILD MAY NOT READILY CLIMB UP IT, THEREFORE NO HORIZONTAL RAILS ARE TO BE USED.

THE STAIR NOSINGS ARE TO BE A CONTRASTING COLOUR TO THE STAIRS AND ARE TO BE LEVEL AND NON TRIP PROFILE.

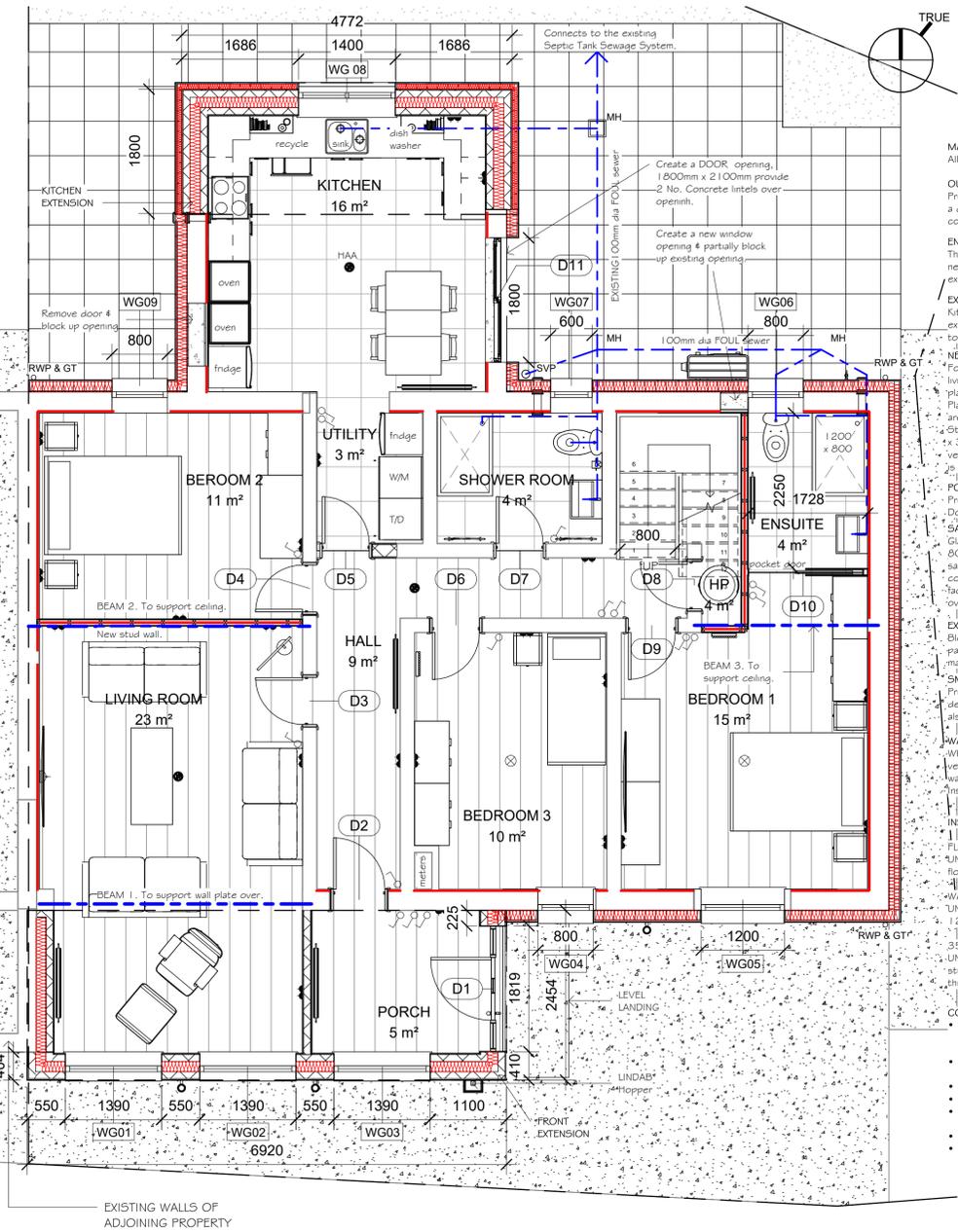
DIFFERENCE IN LEVELS:
 The difference in levels between the extension and the outside ground level is to be approx. 240mm. Provide concrete steps between levels with 2 No. nosers at 120mm and the going is to be 300mm. Provide a level landing outside the EXTERNAL doors.

STRUCTURAL OPENING:
 Create a structural opening from the existing Living Room through to the new front extension area as shown.
 Provide 2 No. 254x14G UB43 BEAMS which are to rest on concrete padstones.
 The new steel beams are to be encased with 2 No. layers of 12.5mm plasterboard and a skim finish.

The ends of all structural steelwork are to rest on concrete padstones.

PLEASE NOTE: STRUCTURAL ENGINEER TO DESIGN THE STRUCTURAL STEEL ARRANGEMENT. PROVIDE CALCULATIONS FOR THE FABRICATION OF THE STEEL AND FOR BUILDING CONTROL.

EXISTING CEILINGS:
 Reboard & replaster existing ceiling in area of building works.



MANHOLES:
 All New Manholes with paved inset cover.

OUTSIDE TAP :
 Provide a cold water outside tap and provide a gully below to connect to the existing combined sewer system.

ENSUITE DRAINAGE.
 The sink, shower and WC are to connect to a new Inspection Chamber (I.C.) and to the existing Septic Tank.

EXTRACT FANS: 3 No.
 Kitchen, Shower Room & Ensuite to have an extraction rate of 60 l/s. Extract fans ducted to the outside air.

NEW STUD WALLING.
 Form Ensite & wall between bedroom 2 & living room with stud walling with plasterboard linings each side of frame. Plasterboard to have a minimum mass per unit area of 10kg/m².
 Stud walls are to be constructed from 75mm x 38 mm framing with intermediate bridging vertically at 1200 mm centres. The framing is to have double head and sole plates.

POCKET DOOR.
 Provide a 256x198 mm Portman Pocket Door let between the Ensite & Bedroom 1.
SAFETY GLASS :
 Glazing within 1500mm of a door and below 800mm from floor level shall be fitted with safety glass (S.G.) to I.S. EN 12600 and consist of 6.4mm laminated glass on the inner face, spacer bar, 4mm sheet OG glass with an overall thickness not less than 20.60mm.

EXISTING OPENINGS:
 Block up the existing door opening and partially block up existing window opening in masonry construction.

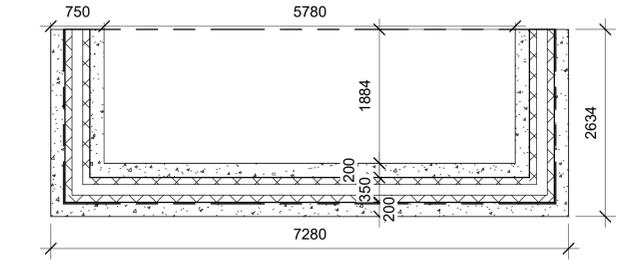
SMOKE DETECTORS ELSEWHERE:
 Provide interconnected mains powered smoke detectors as shown at Ground floor level and also in the Attic Space at ceiling level.

WALL TIES:
 Where new walls tie to the existing walls, a vertical stud is to be bolted to the existing wall, provide a vertical sawcut and D.P.C. insulation to be continuous.

INSULATION REQUIREMENTS:
FLOORS: 0.18Wm2K
 UNILIN XT/PR UF - 110mm thick between floor joists.
WARM FLAT ROOF: 0.17Wm2K
 UNILIN FR-ALU (MECHANICALLY FIXED) 120mm thick on a vapour control layer.
 350mm CAVITY WALLS: 0.18Wm2K
 UNILIN XT/TF T4G 110mm thick, between studs & UNILIN XT/TL (MF) over studs - 25mm thick.

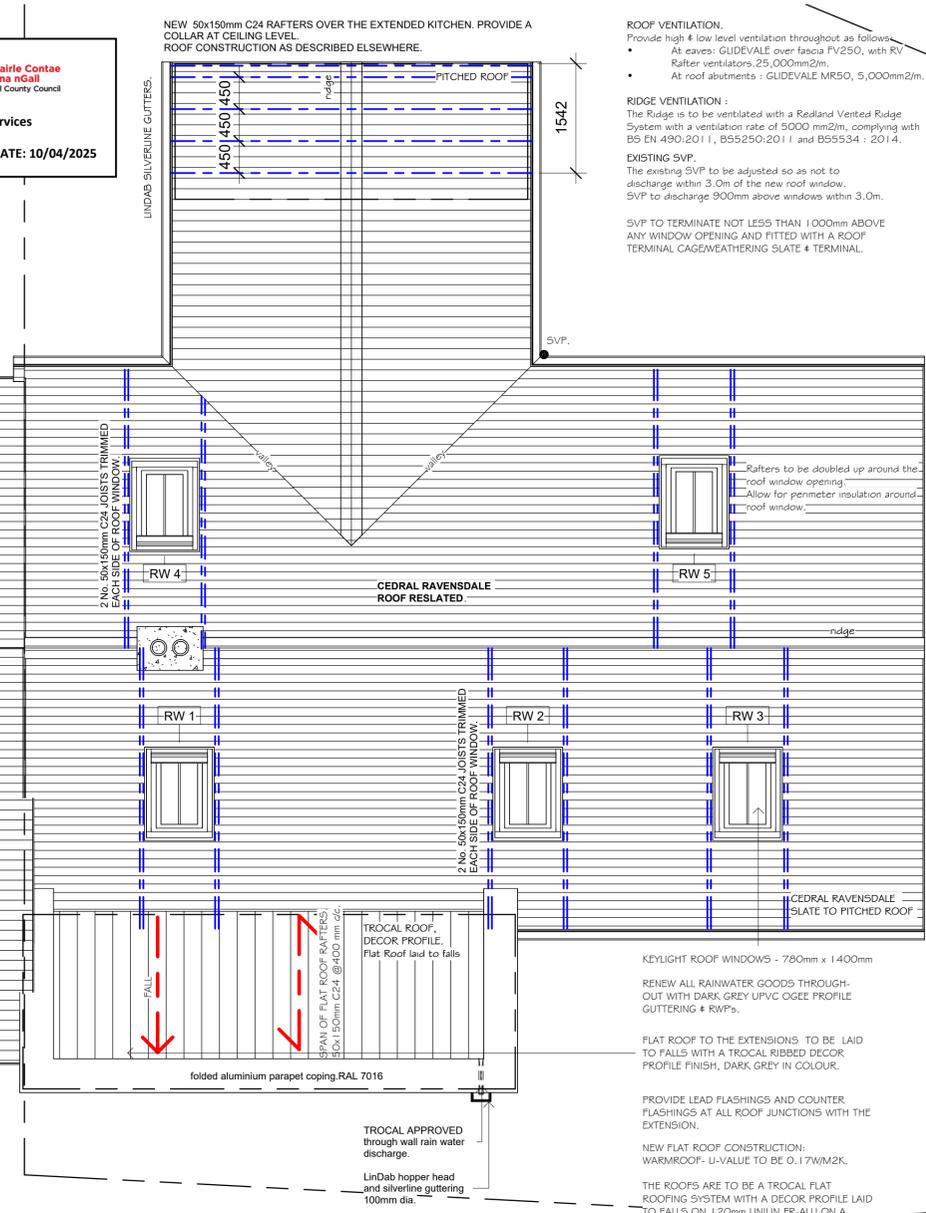
CONSIDERATIONS:
 All kitchen appliance isolating switches to be located behind the tall kitchen storage unit.
 Sockets and switch locations (brushed steel with USB)
 Heat detector in kitchen.
 Choose light fittings.
 Lighting Control to include provision to switch floor lamps in extension.
 Choose floor finishes.
 Choose colours for walls & ceilings.

1 GROUND FLOOR PLAN.
 1 : 50



FOUNDATION:
 The foundation is to be a 750 x 300mm concrete strip foundation, 900mm deep. Approx. Concrete to be C30.
 Stem walls to be 215mm thick concrete block C30.

3 FOUNDATION PLAN - FRONT EXTENSION.
 1 : 50



2 PROPOSED ROOF PLAN
 1 : 50

REFER TO STRUCTURAL ENGINEERS CALCULATIONS FOR ALL STEELWORK DETAILS / SIZES:
 All steel beams to be on concrete padstones or posts as per Structural Engineers recommendations. Steel beams to be painted with intumescent paint to provide 30min. fire resistance.

CONCRETOR SCHEDULE

| span | overall width | end bearing | depth | number of columns | size and number of reinforcement bars |
|------|---------------|-------------|-------|-------------------|---------------------------------------|
| 225 | 450 | 102 | 65 | 1 | 1 No. 110mm |
| 612 | 900 | 144 | 140 | 2 | 1 No. 110mm |
| 725 | 1025 | 150 | 140 | 2 | 1 No. 110mm |
| 837 | 1125 | 144 | 140 | 2 | 1 No. 110mm |
| 950 | 1250 | 150 | 140 | 2 | 1 No. 110mm |
| 1512 | 1800 | 144 | 215 | 3 | 1 No. 110mm |
| 1625 | 2000 | 188 | 215 | 3 | 2 No. 110mm |
| 1800 | 2250 | 200 | 215 | 3 | 2 No. 110mm |
| 2200 | 2800 | 200 | 215 | 3 | 2 No. 110mm |
| 2415 | 2800 | 193 | 215 | 3 | 2 No. 110mm |

NOTES:
 (1) Concrete mix to be C30.
 (2) Unless opening 600 mm x 2100 mm inclusive wide openings are designed to carry a timber floor loading up to spans of 4.5 m and over 2400 mm openings a 4.0 m span.
 (3) Special designs are required for areas supporting floor greater than spans noted.
 (4) Also suitable for supporting outside leaf with no floor.
 (5) Cover to be 40 mm bottom, 20 mm top & side.
 (6) 450 mm into for use over slab bed.

CONCRETOR LEGEND
 1 : 50

GENERAL SPECIFICATION NOTES.

All work is to be carried out in accordance with the Building Regulations and subsequent amendments thereto.
 All work is to be to the satisfaction of the Structural Engineer and Contract Administrator.

All materials and workmanship to accord with current Irish Standards (I.S.) & European Standards (EN) specifications and Code of Practice/CE marking.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE WORK COMMENCES.

Foundations are to be confirmed with the engineer / contract administrator and agreed with the Building Control Officer. Substructure walling to be 215mm concrete block construction.

Load bearing masonry shall be in accordance with I.S. EN 1996 (Eurocode 6) and shall meet the following requirements:
 A) Concrete blocks shall have a minimum crushing strength of 10.5N/mm².
 B) Concrete bricks shall have a minimum crushing strength of 35 N/mm².
 C) Clay bricks shall have a minimum crushing strength of 35N/mm².
 D) Moisture content to be 7-12%.
 E) Mortar to be class (ii).

Ground floors to be Suspended Timber Floor:
 Construction to include thermal insulation to satisfy current Building Regulations. Insulation is to achieve a U-value of 0.18W/m² degree Celsius or better. Floor construction is to consist of a 22mm flooring grade plywood on 195x50mm C24 floor joists at 450mm centres. UNILIN INSULATION XT/PR UF 110mm thick between the floor joists. Provide a gap of at least 150mm below the floor joists to allow cross flow ventilation, ensure the existing floor vents are not compromised.
Floor Void Ventilation:
 Provide under floor ventilation equivalent to 1500mm² for each run of wall, total wall length = 16.00m, therefore 24,000mm² of ventilation to be provided. Use Arex Floorvent Brick with a ventilation area of 4315mm², 6 No. Arex floorvent bricks required.
Concrete:
 Concrete to have a minimum design characteristic strength of 35N/mm² at 28 days. Concrete mix to be in accordance with I.S. EN 206-1 / I.S. 8500. Maximum size of aggregate to be 20mm u.n.o. No openings in concrete work other than shown shall be formed without prior approval of structural engineer / architect / contract administrator.
Timber Frame:
 The walls to the extension are to be timber frame construction 150x50mm C24 studs at 450mm centres with double sole and head plates and jamps at 600mm centres. The walls are to be faced with a 15mm sand/cement render finish on Multi-pro external board with expanded metal / cement board vertically fixed to a 50x50mm timber batten (aragap) on a breathable membrane on timber sheathing board on 150x50mm C24 timber frame with 110mm UNILIN XT/TF insulation between the studs, ensure a 40mm airgap is maintained. Studs to be lined with 25mm UNILIN XT/TL (MF) insulation board and lined with a Vapour Control Layer the plasterboard with a 3 mm skim finish internally.
Structural Stud:
 Provide a Structural Stud wall on steel support beam to support pitched roof rafters and to be constructed from 150x50mm studs at 400mm centres with double head & sole plates, noggin @ 600mm centres and to be lined each side with exterior grade plywood and lined with plasterboard with a skim finish internally.
Internal Stud Walls:
 Internal stud walls to be constructed from 75 mm x 38 mm soft wood framing with intermediate bridging vertically at 1200 mm c/c. The framing is to have a double head and sole plate and is to be clad both sides with 12.5mm plasterboard as GYPROC in 1200mm x 2400mm sheets and finished with a skim coat of 3 mm GYPSUM plaster.
Lettings:
 Lettings to openings at external walls are to be KEYSTONE 2 & 3 course insulated stainless steel.
D.P.C. & D.P.M.:
 Heads, sills and jamps of all openings to have continuous thermal breaks. D.P.C. to comply with I.S. EN779 and to be bedded under all sills, over lettings and at vertical door and window jamps. At the ground floor the wall D.P.C. shall be continuous with the floor DPM. All joints are to be sealed and lapped by 150mm minimum. Floor DPM to be continuous 2000 swg.
Flat Roof Construction:
 Flat Roof Construction: WARM ROOF. U-Value 0.17 Wm2K. The roof to the extension is to be a TROCAL flat roofing system, DECOR PROFILE, DARK GREY in colour laid to falls on Xtratherm FR-ALU (mechanically fixed) 120mm thick insulation on a VAPOUR CONTROL LAYER laid on a plywood deck on framing pieces on 170 x 35mm rafters at 450mm centres, the flat roof rafters are C24, marked KD. Rafters to be doubled up each side of the rooflight opening.
Jamba & Reveals:
 Window & door frames to sit behind the D.P.C. at heads and jamps. Jamba to be insulated with 50 mm polystyrene board. Insulation behind sills to give a U-value to comply with the current Building Regulations, minimum 50mm thick.
Structural Timber:
 Structural Timbers to be strength class C24, marked KD or k14 dried, thoroughly seasoned and vacuum pressure impregnated with preservatives.
Lead Flashings:
 Lead flashing & linings etc. to be soft milled lead to BS 1172:1982. Flashings to be Code No.4, soakers to be Code No.3 and valley and box gutters to be Code No.5.

ROOF VENTILATION:
 Provide high & low level ventilation throughout as follows:
 • At eaves: GUIDEVALE over fascia FV250, with RV Rafter ventilators, 25,000mm²m.
 • At roof abutments : GUIDEVALE MR50, 5,000mm²m.

RIDGE VENTILATION :
 The Ridge is to be ventilated with a Redland Vented Ridge System with a ventilation rate of 5000 mm²m², complying with BS EN 490:2011, B55250:2011 and B55534 : 2014.

EXISTING SVP:
 The existing SVP to be adjusted so as not to discharge within 3.0m of the new roof window. SVP to discharge 900mm above windows within 3.0m.

SVP TO TERMINATE NOT LESS THAN 1000mm ABOVE ANY WINDOW OPENING AND FITTED WITH A ROOF TERMINAL CAGE/WEATHERING SLATE & TERMINAL.

NEW 50x150mm C24 RAFTERS OVER THE EXTENDED KITCHEN. PROVIDE A COLLAR AT CEILING LEVEL. ROOF CONSTRUCTION AS DESCRIBED ELSEWHERE.

KEYLIGHT ROOF WINDOWS - 780mm x 1400mm
 RENEW ALL RAINWATER GOODS THROUGH-OUT WITH DARK GREY UPVC OGEE PROFILE GUTTERING & RWFS.

FLAT ROOF TO THE EXTENSIONS TO BE LAID TO FALLS WITH A TROCAL RIBBED DECOR PROFILE FINISH, DARK GREY IN COLOUR.

PROVIDE LEAD FLASHINGS AND COUNTER FLASHINGS AT ALL ROOF JUNCTIONS WITH THE EXTENSION.

NEW FLAT ROOF CONSTRUCTION: WARMROOF- U-VALUE TO BE 0.17Wm2K.

THE ROOFS ARE TO BE A TROCAL FLAT ROOFING SYSTEM WITH A DECOR PROFILE LAID TO FALLS ON 120mm UNILIN FR-ALU ON A VAPOUR CONTROL LAYER ON A PLYWOOD DECK LAD TO FALLS ON FIRING PIECES ON 195x50mm C24 RAFTERS @450mm C/C WITH 12.5mm

FLASTERBOARD AND SKIM FINISH TO THE UNDERSIDE. INSULATION TO BE FITTED IN ACCORDANCE WITH THE MANUFACTURERS GUIDELINES.

WORK TO EXISTING PITCHED ROOF :
 U-Value 0.16 Wm2K or better.

The existing low quality fibre cement slates, battens, underfelt, lead valleys, fascia, soffits and rain water goods are to be removed.

The feet of the existing rafters are to be extended by approx. 200mm to allow for the roof to cover the 150mm tick external insulation wrap.

CEDRAL RIVENDALE SLATES on slating battens on Tyvek breathable roofing felt EXISTING rafters with 100mm XTRATHERM XT/PR insulation between the rafters.
 Ensure a 50mm gap is left between the top of the insulation and the underside of the breathable roofing felt.

Dark Grey UPVC fascia / soffit system is to be from a manufacturer who holds a relevant BBA Certificate for the product and who is certified to BS EN ISO 9002.

Wall plates are to be 100mm x 50mm softwood, securely tied to walls with galvannead metal straps.

Roof Insulation to be between the rafters and under as noted.



THE GARDEN STUDIO, 76 LANSOWNE ROAD BELFAST BT15 4AA
 Tel. no. 07711747226
 Email. info@arta.uk.com

Client:
MR BRIAN DOOHAN

Project:
SEAVIEW TORY COUNTY DONEGAL

Title:
PROPOSED FLOOR & ROOF PLAN

Scale: 1 : 50 Date: 09/04/2025 Drawn: Author 13:27:37

Dwg no: 25/104/F01



1 PROPOSED FRONT ELEVATION
1 : 50

RIDGE LEVEL
5624

Roof to be reslated with a Cedar Roof Slate and fitted with UNILIN insulation between the existing rafters.

Keylite Roof Windows.

SVP.

ATTIC FLOOR LEVEL
2516

Lindab Silverline gutters, downpipes and hopper heads

Extract Fans

External walls to be wrapped with 150mm insulation with a smooth render finish, white in colour.

New double glazed UPVC windows, dark grey in Colour, RAL 7016.

Outside Tap

GROUND FLOOR LEVEL
0

Air-Source Heat Pump.



2 PROPOSED REAR ELEVATION
1 : 50

EXTERNAL DRAINAGE:
The drainage installation is to be a SEPERATE system underground UPVC pipework to be generally 100mm diameter in accordance with I.S. EN 1359B and I.S. EN 1401-1 and carried out to the satisfaction of the local authority. Trenches to be excavated in straight lines and to even gradients, being nowhere less than 1:80 and to be a sufficient width to allow pipes to be properly laid and jointed but nowhere less than 400mm below ground level. New 450 x 450mm inspection chambers (i.e.) are to be constructed and connected to existing sewer lines as shown.

All pipes, branch connections and fittings to be ungalvanised UPVC conforming to I.S. EN 1359B incorporating flush fit electromagnetic seal joints with 10mm expansion gaps. Depths of cover : all pipes to be laid on a 100mm thick bed of granular material to I.S. EN 752, true to line and to regular even and flush falls. Pipes to be back filled with 100mm of selected fill of granular material.

Minimum falls to drains are as follows :
110mm dia UPVC, not less than 1:40.
160mm dia UPVC, not less than 1:60.
200mm dia UPVC, not less than 1:80.

ATTIC FLOOR LEVEL:
Gullies to be trapped and roddable, bedded and surrounded in 15-20mm2 concrete. Inspection chambers to be proprietary polypropylene ICS approved by the manufacturer. Installations and connections to be to the manufacturers recommendations. Bedding to be selected granular fill, hand tamped around pipes and well compacted in 250mm layers.

INTERNAL DRAINAGE & PLUMBING:
Pipe supports to be firm without restricting thermal movement. Soil stacks to be 100mm dia, and where necessary, shall be taken up to terminate in the external air - minimum 900mm openings within 3.0m range. Soil stacks are to be fitted with proprietary cover which will not restrict the air flow. The minimum size of trap and depth of seal for an appliance shall be as follows:
W.H.B. : 32mm dia of trap & 75mm depth of seal.
SINK : 40mm dia of trap & 75mm depth of seal.
BATH : 40mm dia of trap & 75mm depth of seal.
SHOWER : 40mm dia of trap & 75mm depth of seal.
W.C. : 75mm dia of trap & 75mm depth of seal.
Access to be provided by WAVIN P/E Access connector - 90 degrees, 45761 W or similar to all changes in direction of W.C. drainage runs. Where ducts or pipes penetrate floors, the enclosure is to be lined with 25mm unfaired mineral fibre. The mass of the material shall be 15kg/m2. Flexible fire stopping is to be used where the pipes pass through floors.
All plumbing installations are to be to the satisfaction of the Local Building Control Officer.

WATERMAIN:
The existing lead watermain is to be replaced with a new MDPE type pipe and to be connected to the existing toby box in the footpath outside the property.

CONSERVATION MEASURES:
RIDGE LEVEL
The design & installation and commissioning of the Heating & Hot water system is to comply with Technical Guidance L.

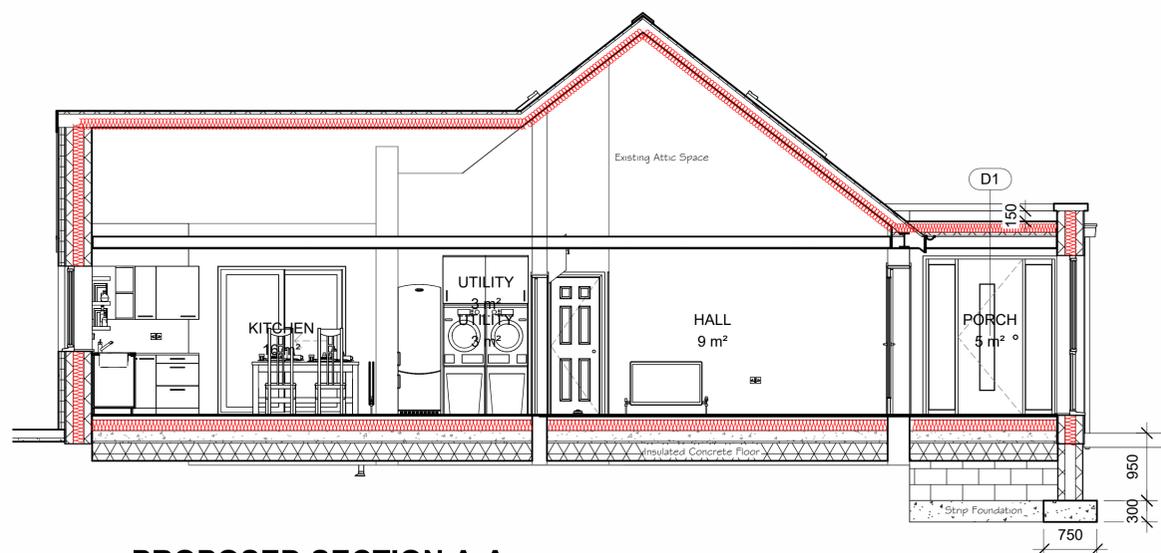
Smoke Alarms, SAA:
Smoke alarms to be fitted complying with I.S. EN 1460, installed in accordance with Guidance Document B (fire safety) Insh Building Regulations. Alarms to be fitted with a back up power supply such as a battery or capacitor.

Heat Detectors, HAA:
Heat Detectors to be fitted complying with I.S. EN 1460, installed in accordance with Guidance Document B (FIRE SAFETY), Insh Building Regulations. Alarms to be fitted with a back up power supply such as a battery or capacitor.

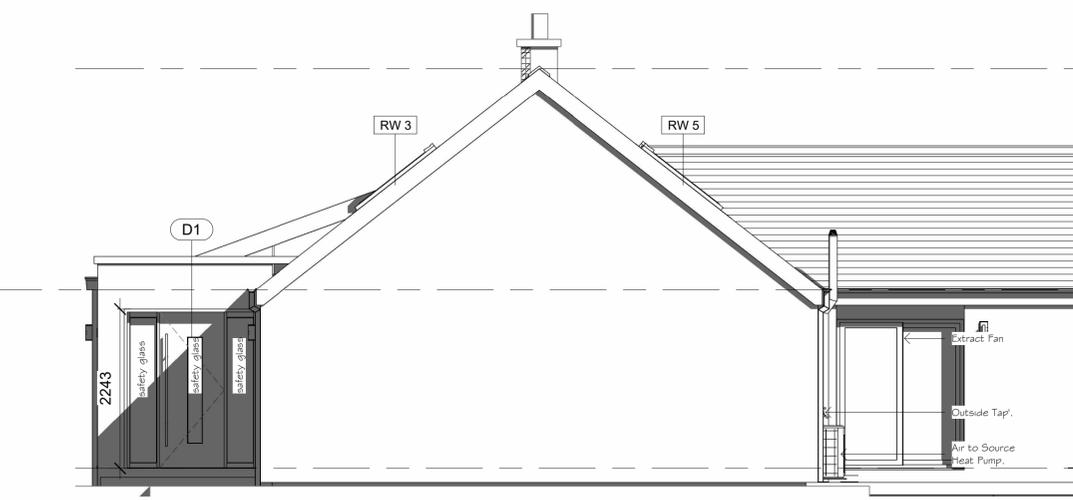
Home Owners Information Pack:
Sufficient information shall be given to the building owner, including maintenance and operational instructions, to enable the dwelling and its fixed building services to be operated and maintained in an energy efficient manner. The instructions shall be directly related to the specific systems installed in the dwelling and shall be readily understandable by the occupier. Instructions are to explain how to make adjustments to the timing and temperature control settings, and the necessary maintenance to enable the systems to operate at a reasonable efficiency throughout their service life.

Extract Fans:
Install mechanical ventilation using electric extractor fans complete with an insect screen, self closing dampers and flexible ducts to the external air, provide black UPVC gullies to external walls or make use of ventilated roof tiles where shown. Extraction rates from ensuite's, bathrooms and kitchens to be 60 l/s and have a 15 minute over-run.

Trickle Ventilation:
Windows in habitable rooms and kitchens are to be fitted with trickle vents equivalent to 8000mm2 ventilation area. ventilation to habitable rooms to equal 1/20th of the floor area.



4 PROPOSED SECTION A-A.
1 : 50



3 PROPOSED SIDE ELEVATION
1 : 50



5 PROPOSED SECTION B-B
1 : 50

RAFTERS DOUBLED UP EACH SIDE OF ROOF WINDOW OPENING.

PROVIDE A UPSTAND AND COVER FLASHING WHERE NEW ROOFS JOIN EXISTING ROOF.

TROCAL WARM ROOF WITH A DECOR PROFILE ON 150X50mm C24 RAFTERS AT 450mm CTRS.

LINDAB HOPPER.

BEAM 1 - 203x133UB43. SUPPORTING WALL PLATE AND FEET OF RAFTERS, SPAN = 3.6m.

ALL STEEL BEAMS TO BE ENCASED WITH TWO LAYERS OF 12.5mm PLASTERBOARD WITH A SKIM FINISH.

Insulated concrete floor.

100mm medium density 10.5N/mm2 blockwork footings, with weak fix cavity fill.

Insulated Concrete Floor

CONCRETE FOUNDATIONS. see detail.



6 PROPOSED 3D VIEW

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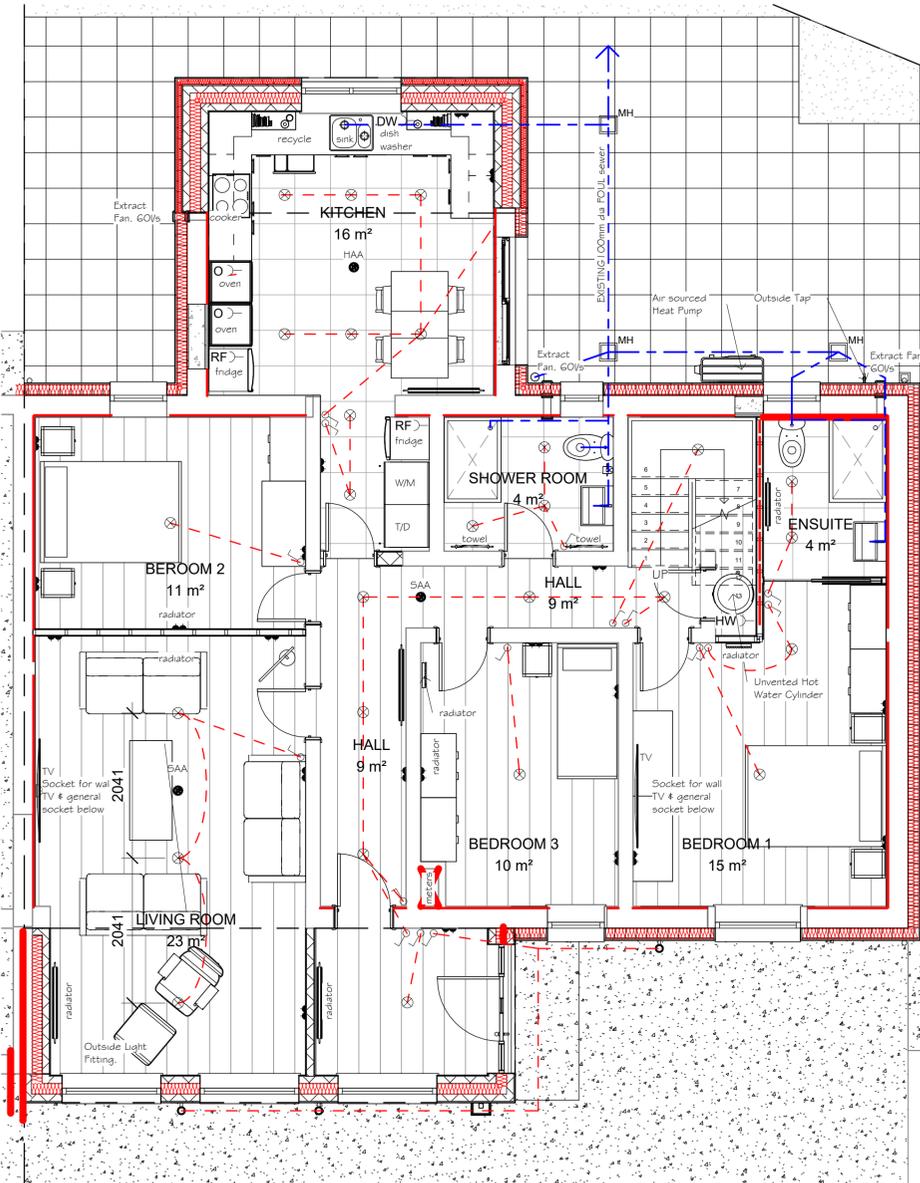
THE GARDEN STUDIO, 76 LANSDOWN ROAD
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Client:
MR BRIAN DOOHAN

Project:
SEAVIEW TORY COUNTY DONEGAL

Title:
PROPOSED ELEVATIONS, SECTIONS & 3D VIEW

Scale: 1 : 50 Date: 09/04/2025 Drawn: Author 13.28.00



ELECTRICAL INSTALLATION.
 The electrical installation shall be carried out in strict accordance with the current edition (including all amendments) of the Regulation of Electrical Installations published by the RECI, Safe Electric. Wall mounted sockets and switches (other than isolators) on the ground floor are to be located not more than 1200mm or not less than 450mm above floor level. The cord of a pull switch shall terminate not more than 1200mm above floor level.

Energy efficient light fittings are to be installed throughout the property.

EXTERNAL LIGHTING TO HAVE A MAXIMUM OUTPUT OF 100W PER FITTING AND SWITCH OFF WHEN THERE IS ADEQUATE DAYLIGHT AND WHEN NOT REQUIRED AT NIGHT, OR HAVE SOCKETS THAT CAN ONLY BE FITTED WITH LAMPS HAVING A LUMINOUS EFFICIENCY GREATER THAN 40 LUMENS PER CIRCUIT-WATT.

EXTRACT FANS:
 Provide 2 No. extract fans (GO/s), one in the kitchen to the outside air and the other in the Utility Room as shown.
 Provide a 10mm gap under each internal door to allow for ventilation.

REDUCE THE RISK OF SCOLDING :
 The domestic hot water distribution system shall be designed and installed so as to incorporate measures to ensure that the temperature of the water that can be delivered is not excessive. Also that a hot water supply to a fixed bath does not exceed 48 degrees centigrade and that all complies with the provisions contained in Technical Guidance Document 'L'.

CENTRAL HEATING
 The existing Oil fired central heating BOILER is to be replaced with a new 10kW Air-to-Water Heat Pump with a minimum COP of 3.0 at 7 degrees outside temperature and 35 degrees temperature. Minimum SCOP of 3.5, ensuring high efficiency throughout the heating season. Noise levels must not exceed 43 db(A) during normal operation, measured from the nearest party boundary. Environmentally friendly refrigerants with low Global Warming Potential (GWP), such as R32 or R290. The system to have an integrated smart control system for efficient operation and comparability with the proposed heating system. The complete installation is to comply with the Technical Guidance Document L, Irish Building Regulations, conservation of fuel and energy - Dwellings.

For the storage of Hot water - a new indirect Unvented Hot Water cylinder is to be located in the new Hot-Press under the new staircase. The cylinder is to have a capacity ranging from 150 - 300 litres and is to be constructed from high grade copper or stainless steel, and is to be lined with high efficiency foam insulation with a minimum thickness of 50mm to reduce heat loss and improve energy efficiency. The Heat Exchanger to have a large surface area coil designed for optimal heat transfer from the air-sourced heat pump, the system is to be energy efficient, the standing heat loss shall not exceed 1.5kW/h per 24 hours. The Heat Recovery Efficiency should be a minimum of 85%. The system to include pressure release valves, thermostatic mixing valves and expansion vessels to ensure safe operation. The requirements of Part L (Conservation of fuel & energy) and Part G (Hygiene) of the Irish Building Regulations.

PLEASE NOTE, THAT WHERE POSSIBLE PRODUCTS THAT HAVE BEEN MANUFACTURED IN IRELAND ARE TO BE USED.

Provide new Low-Temperature Radiators which are designed to run efficiently with the lower flow temperature typical of air-sourced heat pumps throughout the property.

Thermostatic Control Valves are to be fitted to control the temperature independently in zones that require different temperatures. All heating & hot water pipes are to be insulated, with a minimum thickness to equal the diameter of the pipe and / or have a thermal conductivity of not more than 0.45W/m2K.

A time clock is to be fitted to the boiler to control the period when the heating system operates. A flow control or other anti-cycle device is to be fitted to the system to minimise cycling, the boiler shall switch off when there is no demand for heat. An adequate air supply is to be provided to the boiler in accordance with the manufacturers recommendations. Boiler to have an efficiency which exceed the current regulations.

Please Note: The radiator supply and return pipes are to be wall mounted and to be chrome where they exit the wall, this applies to all radiators in the ground floor extension and Utility Room.



| | | | | |
|----------|--|--|--|---|
| SAA O | 3 No. Smoke alarms to be fitted complying with I.S. 3218:2013+A1:2019 and installed in accordance with Technical Guidance Document B, Irish Building Regulations. Alarms to be fitted with a back up power supply such as a battery or capacitor. Located in the living room, hall, & 1 No in the Attic. | 15 No. 1.3 amp twin socket outlet. | 2 No. Extract Fans - ducted to outside air. | 2 No. Low Temperature Panel Radiators. Heating Engineer to specify the size of each radiator as required on a room by room basis. |
| HAA O | 1 No. Heat Detector to be fitted complying with I.S. 54-5:2017, installed in accordance with Guidance Document C, Irish Building Regulations. Alarms to be fitted with a back up power supply such as a battery or capacitor. Located in the kitchen area. | 1.3 amp single socket switched. | 20Amp, DP isolating switch marked 'Washing Machine'. | 3 No. Low Temperature Towel Radiators. Shower Room (2No.) & Ensuite. |
| | ALL FIRE DETECTORS ARE TO BE INTER-LINKED WITH-IN DWELLING. | Cooker socket two pole switched. | 20Amp, DP isolating switch marked 'Tumble Dryer'. | 3 No. Outside light fittings. Monaco by Plister, on motion sensors. |
| | | Single pole switch. | 20Amp, DP isolating switch marked 'Dish Washer'. | Wall mounted outside tap. |
| | | Single pole switch : 3 gang. | 45Amp, DP isolating switch marked 'Oven'. | |
| | | 1.8 No. Recessed downlight / ceiling rose / spotlight-dimmable. | 20Amp, DP isolating switch marked 'HEAT PUMP' | 1 No. Hot Water Storage Cylinder. Located in the new hot press under the new stairs. |
| | | 20Amp, DP isolating switch marked 'Dish Washer'. | Cable tail with outlet for hot water water storage cylinder. | 1 No. Air Sourced Heat Pump. |
| | | SWITCHES & SOCKETS ARE TO BE FLAT POLISHED CHROME IN ALL LOCATIONS. Please note : Switches and sockets behind kitchen units can be standard white. | | |
| | | THE LIGHTING IS TO BE DIMMABLE. | | |



Spot Lights: SAXBY LIGHTING: Use this type of spotlight throughout. Peake 50WGU 10, extremely low profile design. www.saxbylighting.com.

1 M&E LAYOUT 1:50

M&E LEGEND 1:50



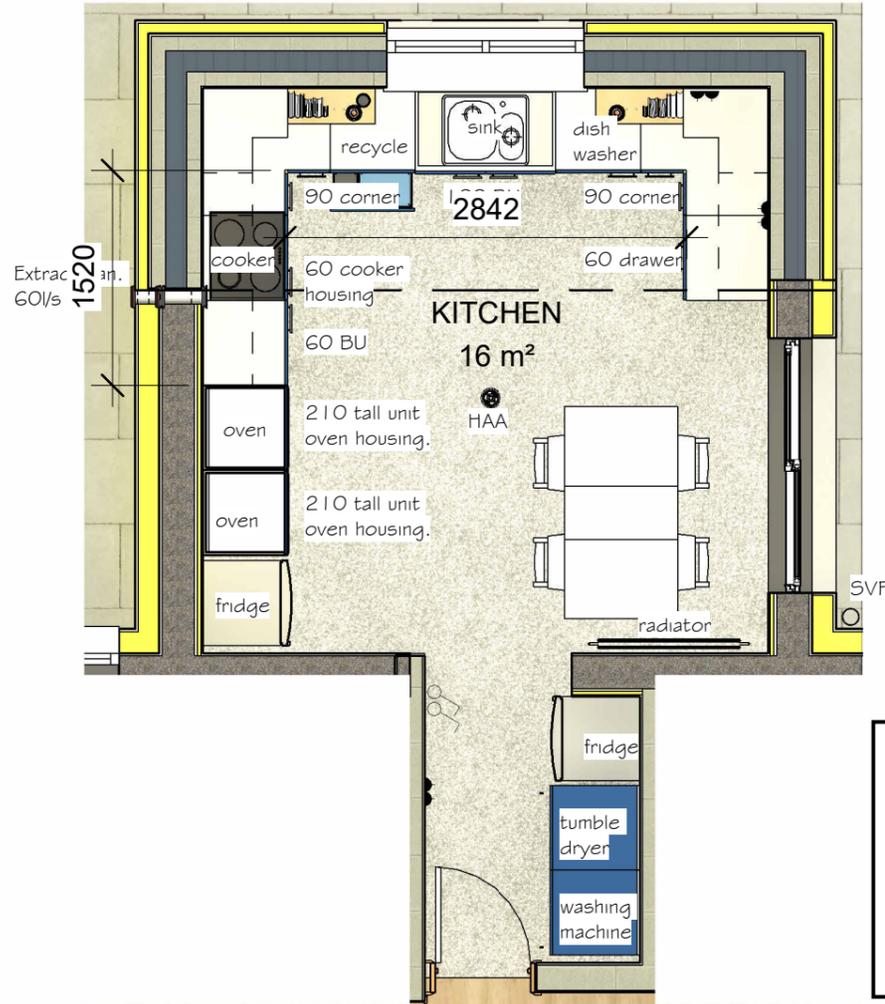
- SCHEDULE OF CABINERY:**
- 2 NO. 600mm LARDER TALL LARDER UNIT.
 - 1 No. 600mm RECYCLING BASE UNIT.
 - 1 No. 600mm DISHWASHER HOUSING.
 - 1 No. 1000mm BASE UNIT.
 - 2 No. 900mm CORNER BASE UNIT.
 - 1 No. 600mm OVEN HOUSING BASE UNIT.
 - 1 No. 600mm DRAWER UNIT.
 - 2 No. 900mm CORNER WALL UNIT.
 - 1 No. 600mm EXTRACT HOUSING.
 - 2 No. 600mm WALL UNIT.
 - 2 No. 300mm WALL UNIT
 - 1 No. WORKTOP - 2.8m.
 - 1 No. WORKTOP - 2.2m.
 - 1 No. WORKTOP - 1.5m.
 - 2 No. 600mm TALL CABINETS FOR WASHING MACHINE & TUMBLE DRYER.
 - SHELIVING AS REQUIRED.



2 KITCHEN WALL ELEVATION 1.
1 : 50

3 KITCHEN WALL ELEVATION 2.
1 : 50

- SCHEDULE OF APPLIANCES:**
- WASHING MACHINE.
 - TUMBLE DRYER.
 - FRIDGE FREEZER x 2.
 - COOKER & HOB.
 - EXTRACT FAN/HOOD.
 - SINK.
 - MICROWAVE.
 - AIR FRYER.
 - GEORGE FOREMAN GRILL.
 - COFFEE MACHINE.
 - KETTLE OR CONSIDER A QUOKER HOT WATER TAP INCLUDING A WATER FILTRATION SYSTEM.



4 KITCHEN WALL ELEVATION 3.
1 : 50

1 KITCHEN LAYOUT
1 : 50



5 3D VIEW 2. KITCHEN.



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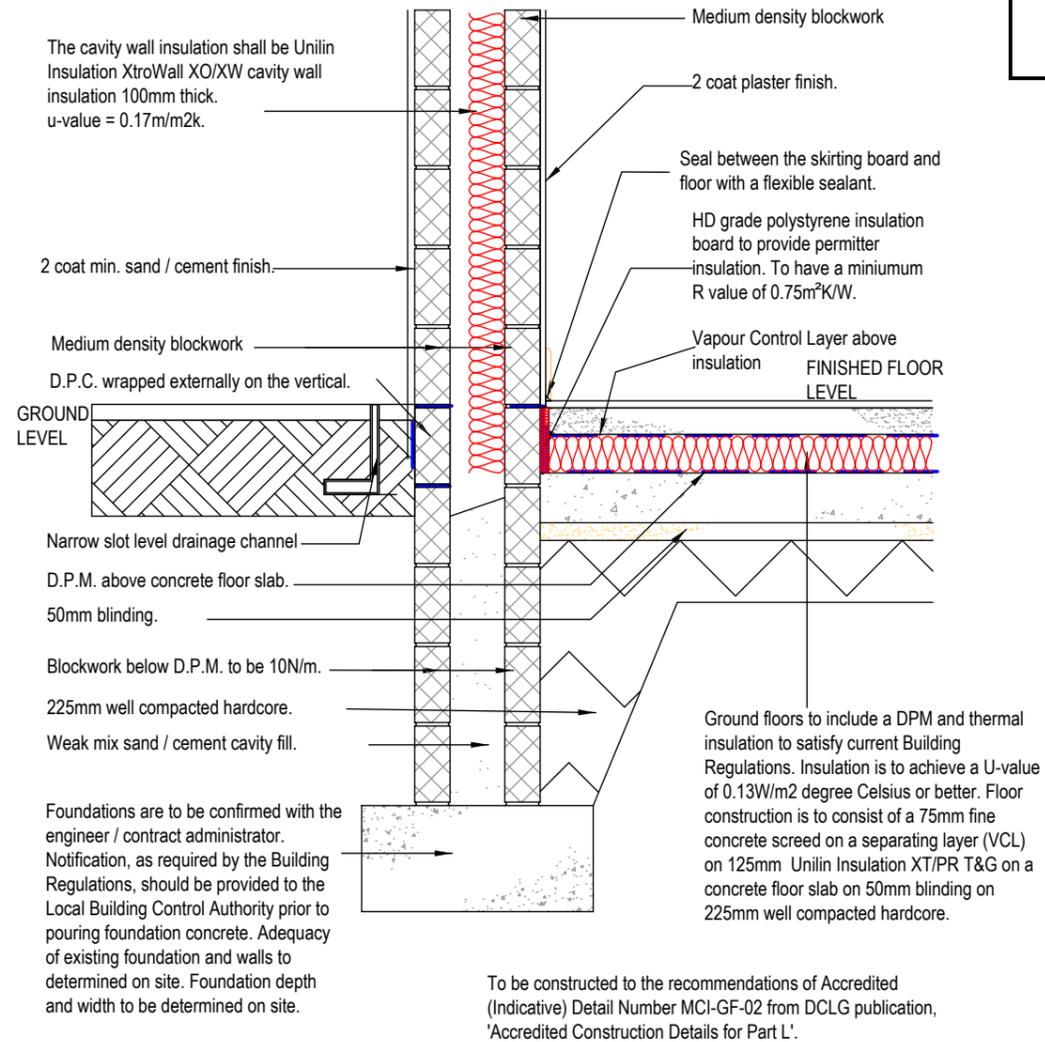
Client:
MR BRIAN DOOHAN

Project:
SEAVIEW TORY Co. DONEGAL

Title:
KITCHEN LAYOUT

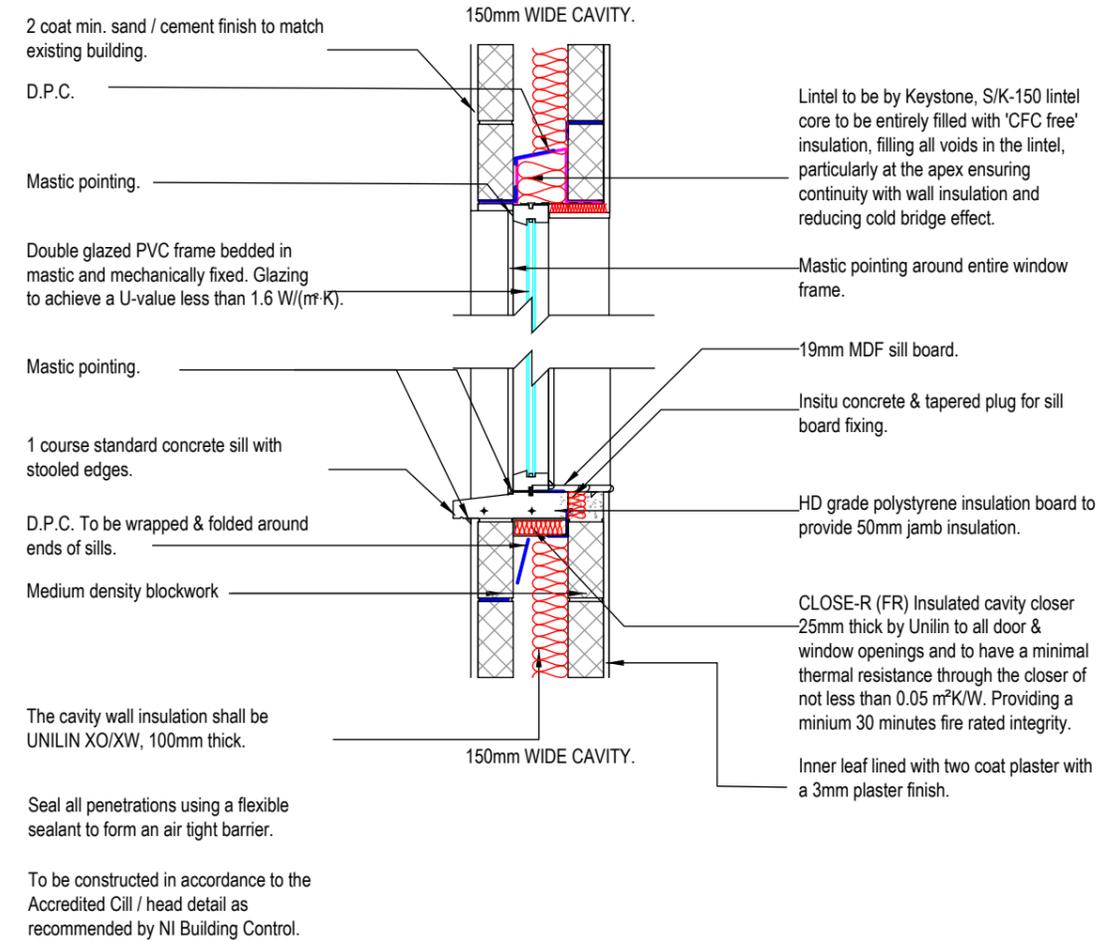
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Dwg no: 25/104/F04



FLOOR & FOUNDATION DETAILS.

1 : 20



HEAD & SILL DETAILS

1 : 20

NOTES:

External doors & windows to be aluminium PPC RAL 7016 - Anthracite Gray, matt finish.

SETTING-OUT:

Height & width dimensions are overall structural openings. All dimensions to be checked on site by window manufacturer. Any issue relating to setting out should be notified to the architect / contract administrator prior to manufacture.

EXTERNAL DOORS:

External doors shall comply with or exceed the U-value requirements of the current edition of the Irish Building Regulations. External doors to have anodised aluminium lever handles both sides, with eurocylinder lock externally and thumbturn lock internally. External Doors to be certified to EN1627-1630. External doors are to be fitted with weather stripping seals. Contractor to provide certificate of performance from the manufacturer for all external doors. Entrance Doors to have a leaf which provides a minimum clear opening of 800 mm and have a glazed visibility panel to comply with the Irish Building Regulations, current edition. External Doors to open as shown on the plan and elevation drawings.

WINDOWS: Double Glazed UPVC Windows Specification (Compliant with Irish Building Regulations)

Materials and Construction
Frame Material: Unplasticised Polyvinyl Chloride (UPVC) with multi-chambered profiles for enhanced thermal performance.
Glazing: Double glazing with two panes of glass.
Glass Type: Low emissivity (Low-E) glass with argon gas fill for improved insulation.
Seals: Co-extruded seals to prevent gasket shrinkage and heat loss.

Thermal Performance
U-Value: 1.2 W/m²K (complying with the requirement of 1.4 W/m²K or lower).
Thermal Insulation: High-performance seals and multi-chambered profiles to reduce heat loss.

Ventilation
Background Ventilation: Ensure that the windows provide adequate background ventilation as per Technical Guidance Document F.
Trickle Vents: Incorporate trickle vents to maintain air quality and prevent condensation.

Safety and Security
Safety Glazing: Use safety glazing in critical locations to comply with Technical Guidance Document K.
Locking Mechanism: Multi-point locking systems are recommended for enhanced security.

Weather Resistance
Air Permeability: Class 4 (600 Pa)
Watertightness: Class E900 (900 Pa)
Wind Resistance: Class A4 (2400 Pa)

Acoustic Performance
Sound Insulation: Acoustic values up to Rw (C;Ctr) = 38 (-2;-6) for noise reduction.

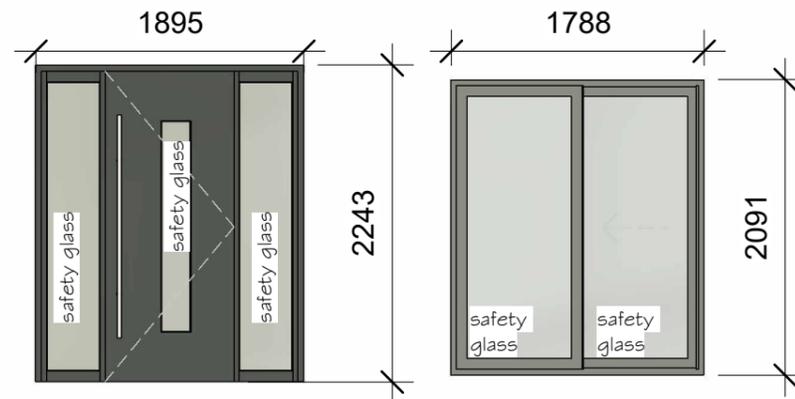
Appearance
Colour: Anthracite Grey.
Finish: Dual colour options for different interior and exterior colours.
Styles: Available in various styles, including casement and top-hung windows.

Compliance
Standards: Compliant with Irish Building Regulations, including Technical Guidance Documents F, K, D, E, and L.
Certification: Passive House certification for high-performance models.

Maintenance
Guarantee: Typically backed by a 15-year guarantee.
Care: Regular cleaning and maintenance recommended to ensure longevity.

**DARK GREY UPVC WINDOWS,
KEYLITE ROOF WINDOWS.
SECURE BY DESIGN EXTERNAL DOORS.**

DOORS AND WINDOWS, LEVEL THRESHOLD, ALL FITTED WITH SAFETY GLASS. COLOUR : RAL 7016 Anthracite Grey.

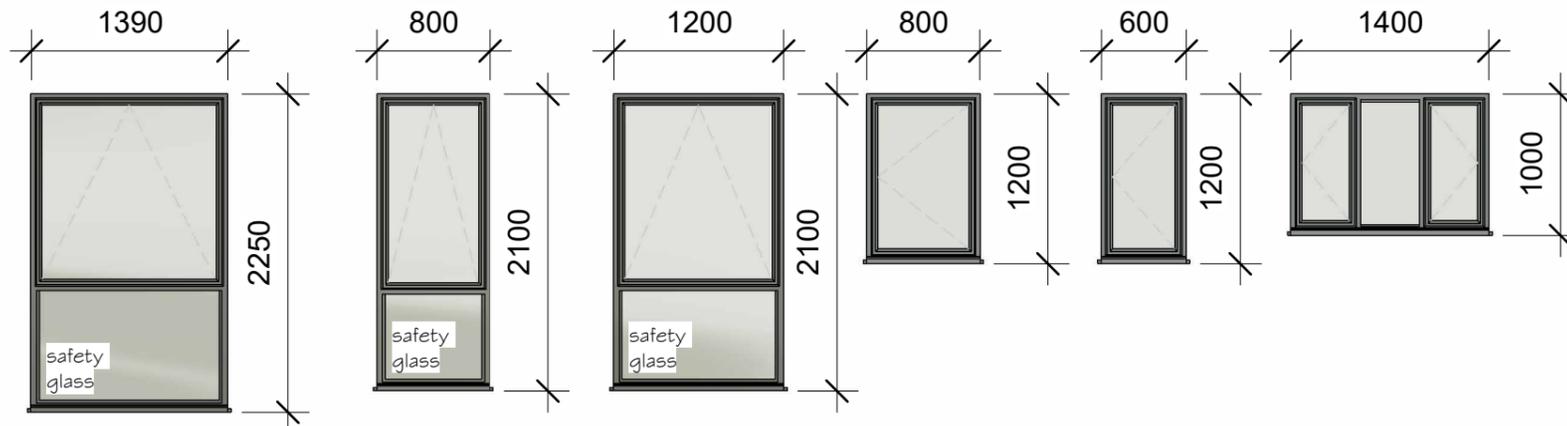


DOOR DO1.
1 No. COMPOSITE DOOR SET WITH SIDE LIGHTS. (Wheelchair accessible)

DOOR DO2.
1 800X2100mm
1 No. SLIDING KITCHEN DOOR.



KEYLITE ROOF WINDOWS - 780X1400MM.
5 No.
RW1, RW2, RW3, RW4 & RW5.



1 390x2250mm.
3 No.
WGO1, WGO2 & WGO3.
LIVING ROOM WINDOWS.

800x2100mm.
1 No.
WGO4.

1 200x2100mm.
1 No.
WGO5.

800x1200mm.
2 No.
WGO6 & WGO9.

600x1200mm.
1 No.
WGO7.

1 400x1000mm.
1 No.
WGO9.

INTERNAL DOORS



1 No. D2. INTERNAL FITTED WITH OPAQUE SAFETY GLASS. set size. 1981x910x44



7 No. D3, D4, D5, D6, D7, D8 & D9. INTERNAL DOORS. 1981x762x44mm



1 No. DOOR D10 - 1981x826mm SLIDING POCKET DOOR KIT BY PORTMAN.

GLAZING:

All glazing must comply with the current edition of the Irish Building Regulations, Technical Guidance Document D - glazing. All glazing to incorporate a condensation channel. Glazing in the following locations shall be fitted with safety glass to satisfy the test requirements of Class C of EN 12600: Between finished floor and 800mm above finished floor level and 1500mm in a door or side screen within 300mm of door edge. Glazing in a door or side panel with a pane more than 900mm wide shall be fitted with safety glass to satisfy the test requirements of EN 12600. Control windows are to be within easy reach and are to be within 1900mm above finished floor level, and 1700mm above finished floor level in the kitchen/utility worktop area. Where any part of a window, skylight or ventilator projects more than 100mm horizontally into a space less than 2000mm above the ground or floor it shall be fitted with a suitable device to restrict the projection in normal use to not more than 100mm. External glazing to be cleaned from the outside of the building using specialist cleaning equipment. A firm, level external surface is to be provided to facilitate cleaning. The reach to clean the windows is in accordance with Building Control Technical Guidance Document - D - glazing. Glazing to be factory fitted hermetically sealed double glazed units with a low-emissivity coating. Hinges to be heavy duty and opening lights to have multi-point locking systems. Double glazed units to be 4mm sheet VISTATHERM glass, spacer bar, 6.4mm laminated glass sheet on the inner face, overall thickness not less than 20.60mm.

VENTILATION:
Provisions for natural and mechanical ventilation of rooms in the dwelling are to comply with current edition of the Irish Building Regulations, Technical Guidance Document F. Minimum 8000mm² permanent trickle ventilation to be provided to all other rooms. Rapid ventilation to be provided in the form of openable windows of not less than 1/20th of the floor area of each room.

Comhairle Contae Dhún na nGall
Donegal County Council

Planning Services

RECEIVED DATE: 10/04/2025

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Project: SEAVIEW TORY Co. DONEGAL

Title: WINDOW AND DOOR SCHEDULE

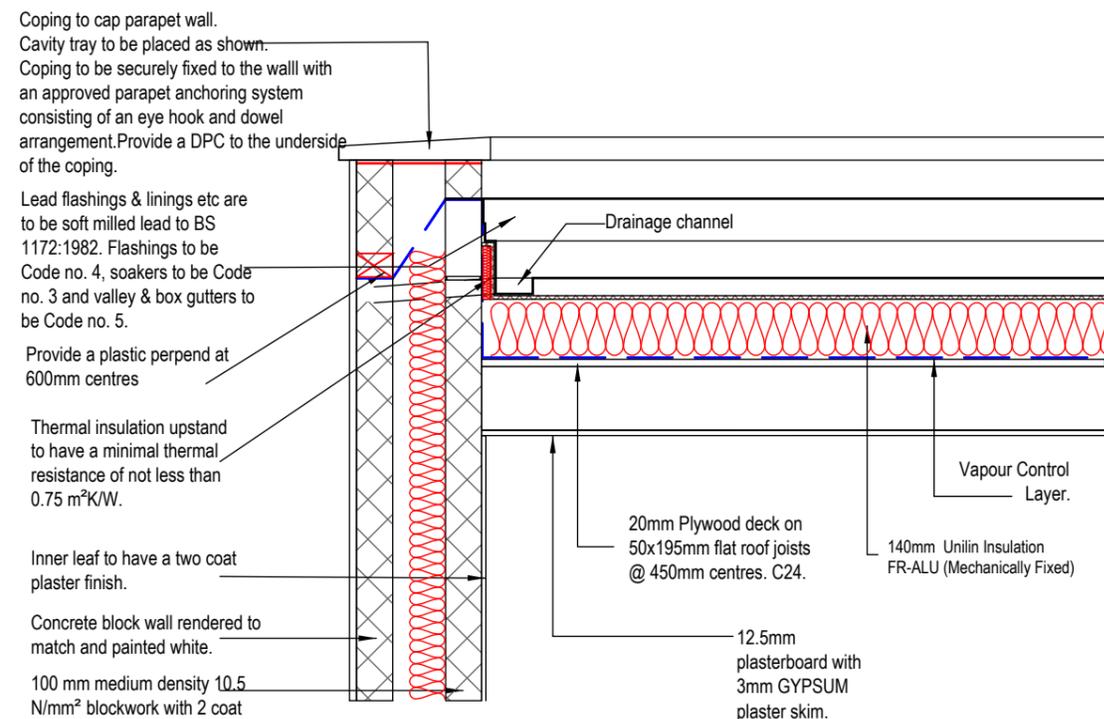
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Dwg no: 25/104/F06

PLEASE NOTE: WINDOW AND DOOR SIZES ARE FOR GUIDANCE ONLY. ALL OPENINGS TO BE MEASURED BY THE ACCOMPANIMENT MANUFACTURER.

WINDOW & DOOR SCHEDULE

1 : 50



The cavity wall insulation shall be *Unilin Insulation Xtrowall XO/XW T&G* 100mm thick comprising a CFC/HCFC-free rigid urethane insulation core with low emissivity composite foil facings on both sides manufactured to the highest standards in accordance with both the requirements of draft BS 4841-1 and quality control systems approved to BS EN ISO 9001: 2000 / I.S. EN ISO 9001: 2000.

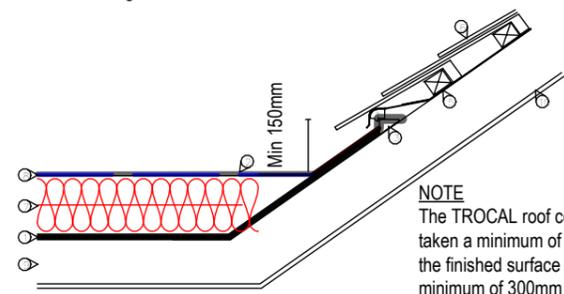
Insulation Limited shall be applied in accordance with the instructions issued by Unilin. The inner leaf is to be lined with a two coat plaster finish.

Flat Roof Construction: WARM ROOF. u-value = 0.15

The roof to the extension is to be a TROCAL flat roofing system laid to fall on a plywood deck on 140mm Unilin Insulation FR-ALU (Mechanically Fixed) on a Vapour Control Layer on a plywood deck laid to fall on furring pieces on rafters with a 12.5 mm plasterboard and 3mm skim finish to the underside. Insulation is to be fitted in accordance with the manufacturers guidelines. The flat roof rafters are to C24, marked KD, sizes as noted elsewhere.

The individual flat roof joists are to be vertically fixed to the wall plate.

1. 18mm Approved Plywood.
2. Tegral flat roof membrane, decor profile.
3. Timber Support
4. Glidevale FV250 Ventilator
5. Eaves Underlay Gutter Skirt
6. Slates / Tiles
7. Kingspan insulation.
8. Vapour Control Layer.
9. Flat roof rafter.
10. Existing Rafter.



WARM ROOF PARAPET DETAILS

1 : 20

FLAT ROOF JUNCTION WITH PITCHED ROOF

1 : 20

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SEAVIEW TORY Co. DONEGAL

Title:
**WARM ROOF PARAPET DETAIL &
FLAT ROOF JUNCTION DETAIL**

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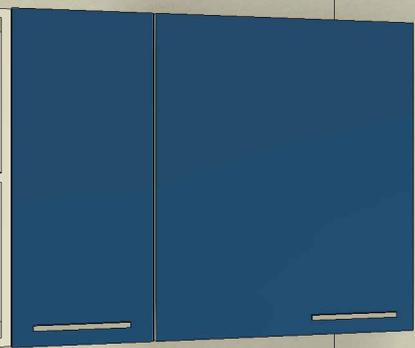
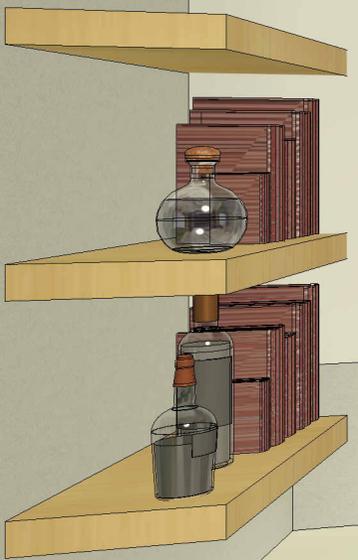


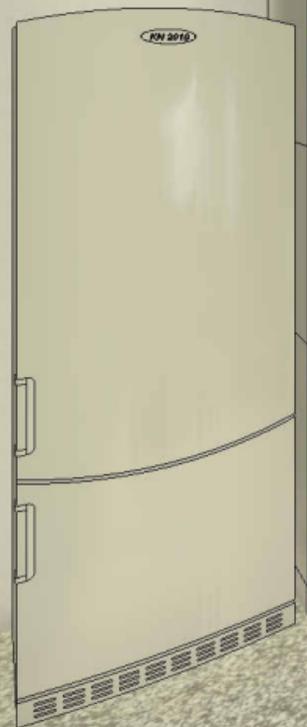
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RECEIVED DATE: 10/04/2025



















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Date: 10 April 2025 8:22:44
Attachments: [fillable-section-5-declaration-of-exemption-application-form.pdf](#)
[DRAWINGS - SEA VIEW - TORY ISLAND.pdf](#)
[3D VIEWS - SEA VIEW TORY ISLAND.pdf](#)

From: Malachy McMahon [REDACTED]
Sent: 09 April 2025 17:09
To: planning mailbox <Planning@Donegalcoco.ie>
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Hi There

Please find attached a Section 5 application for the extension and alterations to Sea View, Tory Island Donegal.

Please do not hesitate to contact the undersigned with any queries on [REDACTED] or email - malachy@arta.uk.com.

List of documents:

- Section 5 Application.
- Set of drawings.
- 3D drawings.

Regards

Malachy McMahon
Arta Design

SECTION 5 REFERRAL REPORT – Ref. No: S25/37

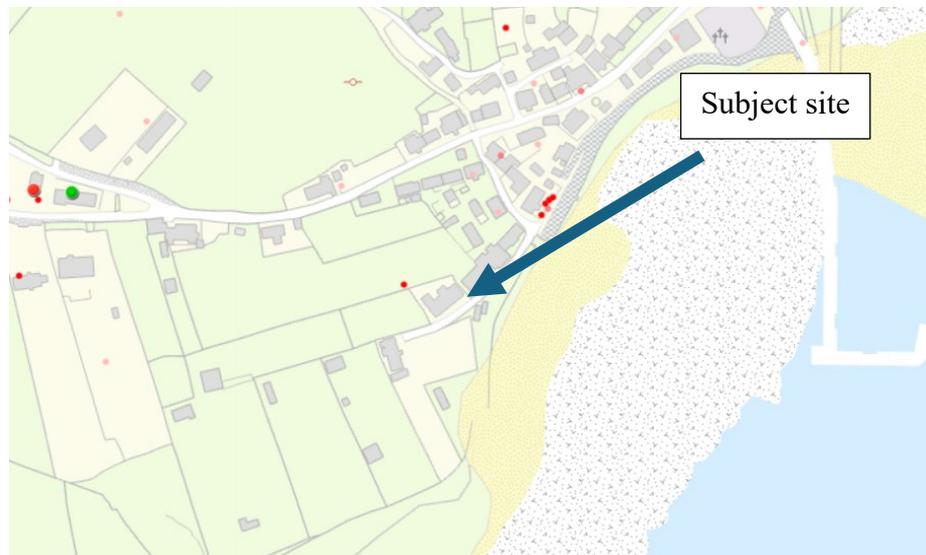
1.0 BACKGROUND

1.1 Location:

Sea View, West End, Tory Island, County Donegal

1.2 Site Description:

The site is occupied by an existing single storey semi-detached dwelling house. The site is located in Tory Island.



1.3 Planning History

- No recent Planning History.

2.0. THE QUESTION

The applicant, Brian Doohan, has made a submission to Donegal County Council requesting that a Declaration be made under Section 5 of the Planning and Development Act, 2000 (as amended) as to whether or not the following is or is not development and is or is not exempted development:

Refurbishment & Extension of existing semi-detached house to include a single storey extension to the front of the house and a single storey extension to the rear of the house. Adjusting existing window openings, new windows, new roof with roof windows, external insulation wrap, installation of an air-sourced heat pump & internal alterations.

3.0 **EVALUATION**

3.1 **Planning and Development Act, 2000 (as amended)**

Section 2(1)

In this Act, except where the context otherwise requires –

“Structure” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so define, and

- (a) Where the context so admits, includes the land on, in or under which the structure is situate...

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal....

Section 3(1)

“Development” in this Act means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1):

Section 4(1) of the Act specifies a series of categories of development considered to be exempted development for the purposes of the Act.

Section 4(1)(h):

Section 4(1)(h) of the Act states that the following shall be exempted development for the purposes of the Act:

‘Development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures’.

Section 4(2)(a)

The Minister may by **regulations** provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that –

- (i) “by reason of the size, nature, or limited effect on its surroundings.....”

- (ii) “the development is authorised, or is required to be authorised, by or under any enactment....”

Section 4(2)(b)

“**Regulations** under paragraph (a) maybe subject to conditions and be of general application or apply to such area or place as may be specified in the regulations.”

Section 4(2)(c)

“**Regulations** under this subsection may, in particular and without prejudice to the generality of paragraph (a) provide, in the case of structures or other land used for a purpose of any specified class, for the use thereof for any other purposes being exempted development for the purposes of this Act”.

Section 177U(9)

“In deciding upon a declaration for the purposes of Section 5 of this Act a planning authority or the Board, as the case maybe, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this Section.”

3.2 Planning and Development Regulations, 2001 (as amended)

Article 6(1)

Subject to Article 9, development of class specified in Column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in Column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Article 9(1)

Development to which article 6 relates shall not be exempted development for the purposes of the Act –

- (a) if the carrying out of such development would -
 - (i) – (xii) (inclusive)

Class 1 of Part 1 of Schedule 2 (*Exempted Development – General*) (*Development within the curtilage of a dwellinghouse*)

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.

Conditions and Limitations:

1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.
(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.
(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.
2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.
(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.
(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.
3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.
4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.
(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.
(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.
5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.
6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.
(b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.
(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.
7. The roof of any extension shall not be used as a balcony or roof garden.

Class 7 of Part 1 of Schedule 2 (Exempted Development – General)
(Development within the curtilage of a dwellinghouse)

The construction or erection of a porch outside any external door of a house.

Conditions and Limitations:

1. Any such structure shall be situated not less than 2 metres from any road.
2. The floor area of any such structure shall not exceed 2 square metres.
3. The height of any such structure shall not exceed, in the case of a structure with a tiled or slated pitched roof, 4 metres or, in any other case, 3 metres.

4.0 ASSESSMENT

- 4.1 Having regard to the question subject of this Section 5 application, drawings of the proposed extensions to the front and rear of the existing dwelling on site have been submitted. The submitted drawings detail a 3 sqm extension to the rear of the dwelling and a 10sqm extension to the front of the dwelling. Having regard to the exemptions for development within the curtilage of a dwellinghouse under Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended), the extension to the rear falls within the scope of the exemption as per Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended), however the extension to the front of the dwelling does not fall within the scope of the exemption as per Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended). The submitted drawings also detail an extension of 1sqm to the existing porch, comprising a proposed total floor area of 5sqm, and therefore does not fall within the scope of exemption as per Class 7 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended).
- 4.2 Consideration has also been given to the proximity of the site to any Natura 2000 sites. The site is partially located within Tory Island SPA & Tory Island Coast SAC is located approx. 18m to the east. Given the brownfield nature of the site and minor works proposed, Appropriate Assessment is not a consideration in the assessment of this referral (see attached screening report).

5.0 RECOMMENDATION

IT IS HEREBY RECOMMENDED THAT A DECLARATION BE MADE THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE –

IS Development

&

IS NOT Exempted Development

WITHIN THE MEANING OF THE ABOVE ACT

The proposal:

Refurbishment & Extension of existing semi-detached house to include a single storey extension to the front of the house and a single storey extension to the rear of the house. Adjusting existing window openings, new windows, new roof with roof windows, external insulation wrap, installation of an air-sourced heat pump & internal alterations.

The Planning Authority in considering this referral, had regard particularly to:

Section 2, 3, 4 and 177U of the Planning and Development Act, 2000 (as amended) and Articles 6(3), 9(1) and Classes 1 - 8 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended).

And concluded that:

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS NOT EXEMPTED DEVELOPMENT** as it does not fall within the scope of any of the developments listed in Class 1 or Class 7 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) which relate to development within the curtilage of a dwellinghouse.

A. Bradley

Assistant Planner
07/05/2025.

JS

Frank Sweeney
Senior Executive Planner
Community Development & Planning Services
07/05/2025

| |
|--|
| <p style="text-align: center;">APPROPRIATE ASSESSMENT SCREENING FOR THE PURPOSES OF ARTICLE 6 OF THE HABITATS DIRECTIVE</p> |
|--|

Applicant Name: Brian Doohan

Plan.Reg.No: S525/37

1.0 Description of Project

The subject site is located on Tory Island. The applicant is seeking the proposal of Refurbishment & Extension of existing semi-detached house to include a single storey extension to the front of the house and a single storey extension to the rear of the house. Adjusting existing window openings, new windows, new roof with roof windows, external insulation wrap, installation of an air-sourced heat pump & internal alterations.

2.0 Natura 2000 sites

The subject site is located:

- Partially within Tory Island SPA and
- Approx. 18m from Tory Island Coast SAC

2.1 Site Synopsis for Tory Island SPA (Site Code 004073)

Tory Island is a remote, rocky island lying some 11 km to the north of Bloody Foreland in County Donegal. The island is around 4 km long by 1 km wide and consists in the main of igneous granite, with a few dolerite intrusions. The extreme eastern section, however, is made up of more erosion-resistant Ards Quartzite, and high (up to 83 m), dramatic coastal cliffs occur here. The cliffs continue along much of the north coastline. The southern shoreline is low-lying, consisting of bedrock shore and boulder beach. A marine area, extending 500 m from the base of the cliffs along the eastern and north-east side of the island, is included within the site.

The site is a Special Protection Area (SPA) under the E.U. Birds Directive, of special conservation interest for the following species: Fulmar, Corncrake, Razorbill and Puffin.

Tory Island SPA supports a breeding population of Corncrake (25 pairs - five year mean between 2003 and 2007, based on records of calling males). Tory Island SPA is one of a suite of sites along the western seaboard that is regularly utilised by nationally important numbers of breeding Corncrake.

Corncrake winter in southern and eastern Africa, migrating northwards to arrive on their breeding grounds from early April onwards, departing again in August and September. They require the cover of tall vegetation throughout their breeding cycle and are strongly associated with meadows which are harvested annually, where they nest and feed. Annual cutting of these meadows creates a sward which is easy for the birds to move through. Other habitats, which can provide cover for Corncrake in the early and late stages of the breeding season, are also important for this species.

Corncrake is listed on the 2010 International Union for Conservation of Nature (IUCN) Red List of Threatened Species. This is due to population and range declines of more than 50% in the last 25 years across significant parts of its range.

Tory Island SPA also supports nationally important breeding populations of Fulmar (641 pairs), Razorbill (671 pairs) and Puffin (1,402 pairs) - all figures from 1999. Other species that occur include Kittiwake (408 pairs), Guillemot (381 pairs) and Black Guillemot (32 pairs), with smaller numbers of Shag (27 pairs), Herring Gull (15 pairs), Great Black-backed Gull (2 pairs), Black-headed Gull (70 pairs) and Common Gull (17 pairs).

A small Storm Petrel colony is thought to still exist on Tory but has not been censused in recent years. Tory Island is a traditional breeding site for the scarce Little Tern; up to 20 pairs have been recorded in the past, with a count of 15 individuals seen in 1999.

At least one pair of Peregrine nests on Tory in most years. A further species characteristic of exposed coastal areas, Chough, also nests, with six pairs present in 1992. A range of wader species breed, including Oystercatcher (up to 5 pairs), Ringed Plover (c. 20 pairs), Lapwing (c. 20 pairs), Snipe (up to 5 pairs) and Redshank (2 pairs). Tree Sparrow, a very localised species in Ireland, also breeds in small numbers.

Tory Island has a diverse bird fauna that is very characteristic of exposed offshore islands. It is of high ornithological importance as it supports a nationally important population of Corncrake, a globally threatened species. Nationally important breeding populations of three other species also occur. Of particular note is that five of the species which breed on Tory are listed on Annex I of the E.U. Birds Directive, i.e. Corncrake, Storm Petrel, Little Tern, Peregrine and Chough.

2.2 Conservation Objectives for Tory Island SPA (Site Code 004073)

The overall aim of the Habitats Directive is to maintain or restore the favourable conservation status of habitats and species of community interest. These habitats and species are listed in the Habitats and Birds Directives and Special Areas of Conservation and Special Protection Areas are designated to afford protection to the most vulnerable of them. These two designations are collectively known as the Natura 2000 network.

European and national legislation places a collective obligation on Ireland and its citizens to maintain habitats and species in the Natura 2000 network at favourable conservation condition. The Government and its agencies are responsible for the implementation and enforcement of regulations that will ensure the ecological integrity of these sites.

The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.

Favourable conservation status of a habitat is achieved when:

- its natural range, and area it covers within that range, are stable or increasing, and
- the specific structure and functions which are necessary for its long-term maintenance exist and are likely to continue to exist for the foreseeable future, and
- the conservation status of its typical species is favourable.

The favourable conservation status of a species is achieved when:

- population dynamics data on the species concerned indicate that it is maintaining itself on a long-term basis as a viable component of its natural habitats, and
- the natural range of the species is neither being reduced nor is likely to be reduced for the foreseeable future, and
- there is, and will probably continue to be, a sufficiently large habitat to maintain its populations on a long-term basis.

| Bird Code | Common Name | Scientific Name |
|-----------|-------------|--------------------|
| A009 | Fulmar | Fulmarus glacialis |
| A122 | Corncrake | Crex crex |
| A200 | Razorbill | Alca torda |
| A204 | Puffin | Fratercula arctica |

2.3 Site Synopsis for Tory Island Coast SAC (Site Code 002259)

Tory Island is a remote, rocky island lying some 11 km to the north of Bloody Foreland in Co. Donegal. The island is approximately 4 km long by 1 km wide, and consists in the main of igneous granite, with a few dolerite intrusions. The extreme eastern section, however, is made up of more erosion-resistant Ards Quartzite and high, dramatic coastal cliffs occur here. The surrounding coastal waters are included in the site.

The site is a Special Area of Conservation (SAC) selected for the following habitats and/or species listed on Annex I / II of the E.U. Habitats Directive (* = priority; numbers in brackets are Natura 2000 codes):

[1150] Coastal Lagoons*
[1170] Reefs
[1220] Perennial Vegetation of Stony Banks
[1230] Vegetated Sea Cliffs
[8330] Sea Caves

Tory Island has many good examples of subtidal reef communities that range from being extremely to moderately exposed to wave action. In shallow water the reefs are characterised by kelp forests of *Laminaria hyperborea* that have an understory of the jewel anemone, with a variety of red foliose algae or an understory of cushion like fauna of sponges and sea squirts with red algae. This latter community is considered to be uncommon. The kelp becomes sparse in water deeper than 24 m, though the species richness of both flora and fauna can be high in these algal dominated (infralittoral) reefs (e.g. 70 species south west of Rinnamorreeny on the west side of the island; 85 species south-west of Carrickadda). The rare alga *Carpomitra costata* occurs.

In deeper water, the fragile animal dominated (circalittoral) reef communities are characterized by both the Axinellid cup and branching sponge community, and by communities characterised by scour tolerant fauna and flora. Species richness in the circalittoral reef communities is high (88 species north-east of Balligaereggagh; 70 species at the end of Tormore; 83 species east of Tormore; 79 species west of Rinnamorreeny). These species rich communities are important geographical variations of these reef communities, with a number of southern species that are close to the northern limits of their distributions. The uninterrupted zonation between the shallow and deep reef communities, and the fully to moderately exposed communities, is of note and should be respected as an ecological unit.

High coastal cliffs occur along most of the northern side of the island and also at the eastern end. Many parts are sheer and are unvegetated except by lichens, but where soil has accumulated typical plants such as Thrift (*Armeria maritima*), Red Fescue (*Festuca rubra*), scurvygrass (*Cochlearia* sp.), Sea Mayweed (*Matricaria maritima*), English Stonecrop (*Sedum anglicum*), Sea Plantain (*Plantago maritima*) and Buck's-horn Plantain (*P. coronopus*) are common. Of particular note is the occurrence of Scots Lovage (*Ligusticum scoticum*), a Red Data Book species, which is found on the high cliffs in the east of the island, where it is inaccessible to grazing animals. There are five visible sea caves in this area, concentrated on a rocky promontory at the east end of the island.

The southern and western shoreline consists of bedrock shores, with occasional rockpools, and shingle and boulder beaches. The lower zone of the boulder beaches have a covering of algae, including *Fucus spiralis* and *Pelvetia canaliculata*. Typical plants of the shingle zone are Sea Sandwort (*Honkenya peploides*), Spear-leaved Orache (*Atriplex hastata*), Curled Dock (*Rumex crispus*), Rock Sea-spurrey (*Spergularia rupicola*) and Sea-milkwort (*Glaux maritima*). The Red Data Book species Sea-kale (*Crambe maritima*) has been recorded from the boulder beaches.

An acid, maritime heath occupies the area sloping back from the cliffs along much of the length of the island. Common species in this habitat are Heather (*Calluna*

vulgaris), Cross-leaved Heath (*Erica tetralix*), Sheep's-bit (*Jasione montana*), Crowberry (*Empetrum nigrum*), Tormentil (*Potentilla erecta*), Common Bird's-foot-trefoil (*Lotus corniculatus*), Bell Heather (*Erica cinerea*), Velvet Bent (*Agrostis canina*) and Heathgrass (*Danthonia decumbens*). This habitat is usually very open and the vegetation is low and becoming eroded due to the extreme exposure, grazing by domestic stock and rabbits, and localised peat cutting.

A number of wetlands on Tory Island greatly increase the habitat diversity of the site. Lough Ayes is an excellent example of a shallow (1-2 m) sedimentary lagoon with a long, unbroken cobble barrier. This lagoon is one of only a very few in Ireland with a completely natural barrier and no tidal inlet. Its vegetation is dominated by dense growths of tasselweed (*Ruppia* sp.) and Slender-leaved Pondweed (*Potamogeton filiformis*), with Shoreweed (*Littorella uniflora*) and Brackish Watercrowsfoot (*Ranunculus baudottii*) in the shallow margins. Lough Ahooy and Lough Aher are freshwater lakes, surrounded by marshes and wet heath. These support a wide range of plants including, amongst others, Common Spike-rush (*Eleocharis palustris*), Bristle Club-rush (*Scirpus setaceus*), Floating Club-rush (*S. fluitans*), Sharpflowered Rush (*Juncus acutiflorus*), Bulbous Rush (*J. bulbosus*), Common Cottongrass (*Eriophorum angustifolium*), Cuckooflower (*Cardamine pratensis*), Bog Pondweed (*P. polygonifolius*), Marsh Pennywort (*Hydrocotyle vulgaris*), Alternate Water-milfoil (*Myriophyllum alterniflorum*), Lesser Water-plantain (*Baldellia ranunculoides*), Water Purslane (*Lythrum portula*) and water-starworts (*Callitriche* spp., including *C. hermaphroditica*).

Tory Island, and its surrounding marine waters, supports important populations of birds. Four species listed on Annex I of the E.U. Birds Directive breed within the site - Chough (2-6 pairs, 1992), Peregrine (1-2 breeding territories), Little Tern (2+ pairs, 1995) and Storm Petrel (20 pairs, 1987). A fifth Annex I species, Corncrake, has an important breeding population (19 singing males in 1998) in the neighbouring fields just outside the site boundary. This area, and indeed the whole island, is protected as a Special Protection Area (SPA) for birds and their habitats. Tree Sparrow (a Red Data Book species) also breed in small numbers. The lack of disturbance by livestock, farm machinery and predators such as foxes enables several ground-nesting birds to breed on Tory, such as Snipe, Redshank, Lapwing, Oystercatcher, Common Gull and Wheatear. The rocky cliffs, especially around Tormore, support large seabird colonies, with Puffins (1,402 individuals in 1999), Razorbill (1,002 individuals in 1999), Guillemot (568 individuals in 1999), Kittiwake (408 pairs in 1999) and Fulmar (641 pairs in 1999), and smaller numbers of Shag (27+ pairs in 1999), Herring Gull and Great Black-backed Gull.

In conclusion, Tory Island Coast SAC is of conservation interest for its range of coastal and marine habitats, particularly for its important lagoon, sea cliffs, boulder beaches, sea caves and submarine reefs. Also of value are the two Red Data Book plant species. The islands cliffs and offshore sea stacks and islets are used by breeding seabird colonies and the site provides good habitat for Chough. The shingle and boulder beaches provide good breeding habitat for the rare Little Tern.

2.4 Conservation Objectives for Tory Island Coast SAC (Site Code 002259)

The overall aim of the Habitats Directive is to maintain or restore the favourable conservation status of habitats and species of community interest. These habitats and species are listed in the Habitats and Birds Directives and Special Areas of Conservation and Special Protection Areas are designated to afford protection to the most vulnerable of them. These two designations are collectively known as the Natura 2000 network.

European and national legislation places a collective obligation on Ireland and its citizens to maintain habitats and species in the Natura 2000 network at favourable conservation condition. The Government and its agencies are responsible for the implementation and enforcement of regulations that will ensure the ecological integrity of these sites.

The maintenance of habitats and species within Natura 2000 sites at favourable conservation condition will contribute to the overall maintenance of favourable conservation status of those habitats and species at a national level.

Favourable conservation status of a habitat is achieved when:

- its natural range, and area it covers within that range, are stable or increasing, and
- the specific structure and functions which are necessary for its long-term maintenance exist and are likely to continue to exist for the foreseeable future, and
- the conservation status of its typical species is favourable.

The favourable conservation status of a species is achieved when:

- population dynamics data on the species concerned indicate that it is maintaining itself on a long-term basis as a viable component of its natural habitats, and
- the natural range of the species is neither being reduced nor is likely to be reduced for the foreseeable future, and
- there is, and will probably continue to be, a sufficiently large habitat to maintain its populations on a long-term basis.

Qualifying Interests (* indicates a priority habitat under the Habitats Directive)

1150 Coastal lagoons

1170 Reefs

1220 Perennial vegetation of stony banks

1230 Vegetated sea cliffs of the Atlantic and Baltic coasts

3.0 Assessment of Likely effects:

The Planning Authority considers that the proposed development could:

| Impact type | Significance indicator | Comments |
|----------------------|--|---|
| Loss of habitat area | Percentage of loss | None given the minor scale of the proposed works and brownfield nature of the site. |
| Fragmentation | Duration or permanence, level in relation to original extent | None given the minor scale of the proposed |

| | | |
|----------------------------|--|--|
| | | works and brownfield nature of the site. |
| Disturbance | Duration or permanence, distance from site | None given the minor scale of the proposed works and brownfield nature of the site. |
| Species population density | Timescale for replacement | None given the minor scale of the proposed works and brownfield nature of the site. |
| Water resource | Relative change | None expected due to minor nature of the works |
| Water quality | Relative change in key indicative chemicals and other elements | None given the minor scale of the proposed works and brownfield nature of the site. and due to lack of hydrological pathways between the site and the designated lands |

The Planning Authority is of the opinion that the proposed development will not have a significant effect on the aforementioned SPA and SAC.

4.0 Screening Determination:

That an appropriate assessment of the development is not required as it can be excluded on the basis of objective scientific information that the proposed development will have a significant effect on nearby Natura 2000 Sites i.e Tory Island SPA and Tory Island Coast SAC.

A. Bradley

Assistant Planner
07/05/2025.

Chief Executive's Order No: 2025PH1262

Planning and Development Acts 2000 (as amended)

SECTION 5:-

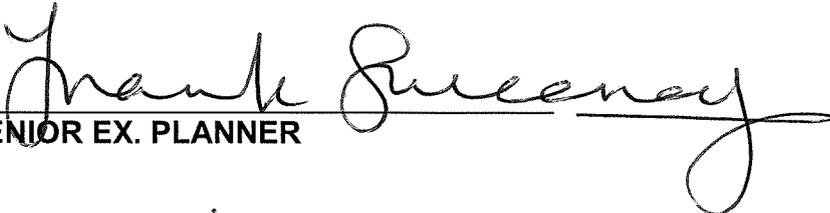
Request received 10th April 2025 from Brian Doohan C/o Malachy McMahon, Arta Design, 76 Lansdowne Road, Belfast, BT15 4AA in relation to the refurbishment and extension of existing semi-detached house to include a single storey extension to the front of the house and a single storey extension to the rear of the house. Adjusting existing window openings, new windows, new roof with roof windows, external insulation wrap, installation of an air-sourced heat pump and internal alterations at Sea View, West End, Tory Island, Co Donegal.

SUBMITTED:-

Written request received 10th April 2025 as above and report dated 7th May 2025 from the Assistant Planner (Ref. No: S5 25/37 refers).

ORDER:-

Having considered the said request, the report of the Assistant Planner, and the record forwarded to the Council by An Bord Pleanála in compliance with Sub-Section 6(c) of the said Section I have concluded that a declaration on the questions in the said request should be made in the terms of that in the Schedule to this Order, the main reasons and considerations therefore being detailed therein. I therefore Order that the declaration issue to the said requester and the owners/occupiers of the land concerned and, further, that it be entered in the Council's Planning Register in compliance with Sub-Section (5) of the said Section.


SENIOR EX. PLANNER

DATED THIS 8th DAY OF MAY 2025

MME

Chief Executive's Order No: 2025PH1262

Ref.No: S5 25/37

SCHEDULE

IT IS HEREBY DECLARED THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE

IS Development

IS Not Exempted Development

WITHIN THE MEANING OF THE ABOVE ACT

The Planning Authority in considering this referral, had regard particularly to:

- Section 2, 3, 4 and 177U of the Planning and Development Act, 2000 (as amended) and
- Articles 6(3), 9(1) and Classes 1 - 8 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended).

And concluded that:

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS NOT EXEMPTED DEVELOPMENT** as it does not fall within the scope of any of the developments listed in Class 1 or Class 7 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) which relate to development within the curtilage of a dwelling house.

JS 03/05

Planning and Development Acts, 2000 (as amended)
(Declaration and Referral on Development and Exempted Development)

DECLARATION

Chief Executive's Order No: 2025PH1262

Reference No: S525/37

Name of Requester: Brian Doohan
C/o Malachy McMahon
Arta Design
76 Lansdowne Road
Belfast
BT15 A44

Summarised Description of development the subject matter of request:

The refurbishment and extension of existing semi-detached house to include a single storey extension to the front of the house and a single storey extension to the rear of the house. Adjusting existing window openings, new windows, new roof with roof windows, external insulation wrap, installation of an air-sourced heat pump and internal alterations

Location: Sea View, West End, Tory Island, Co Donegal.

IT IS HEREBY DECLARED THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE

IS Development

IS Not Exempted Development

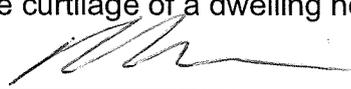
WITHIN THE MEANING OF THE ABOVE ACT

The Planning Authority in considering this referral, had regard particularly to:

- Section 2, 3, 4 and 177U of the Planning and Development Act, 2000 (as amended) and
- Articles 6(3), 9(1) and Classes 1 - 8 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended).

And concluded that:

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS NOT EXEMPTED DEVELOPMENT** as it does not fall within the scope of any of the developments listed in Class 1 or Class 7 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) which relate to development within the curtilage of a dwelling house.



For Senior Ex. Planner
Planning Services

Dated this 8th day of May 2025



**Comhairle Contae
Dhún na nGall**
Donegal County Council

Áras an Chontae,
Leifear,
Contae Dhún na nGall, F93 Y622

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Ref. No: S525/37

8th May 2025

BRIAN DOOHAN
C/O MALACHY MCMAHON
ARTA DESIGN
76 LANSDOWNE ROAD
BELFAST
BT15 A44

Re: The refurbishment and extension of existing semi-detached house to include a single storey extension to the front of the house and a single storey extension to the rear of the house. Adjusting existing window openings, new windows, new roof with roof windows, external insulation wrap, installation of an air-sourced heat pump and internal alterations at Sea View, West End, Tory Island, Co Donegal.

A Chara,

I refer to your request received on 10th April 2025 under Section 5 of the Planning and Development Act, 2000 (as amended). Same has now been decided and I now issue to you herewith the Council's Declaration thereon. You are now advised that, in accordance with Section 5 (3) (a) of the Planning & Development Act, 2000 (as amended) where a Declaration is issued, any person issued with such a Declaration may, on payment to An Bord Pleanála of such fee as may be prescribed, refer a Declaration for review by the Board within 4 weeks of the date of issuing of the Declaration.

Mise, le meas,

**For Senior Ex. Planner
Planning Services**

/jmcc