

Rannóg na nAiltirí
Iarnród Éireann
An Rannán um Fheabhsú Gréasáin, Infheistíochtaí Caipitil,
An Foirgneamh Innealtoireachta & Oibreachta Nua,
Oibreachha CIE, Inse Chór, Baile Átha Cliath D08 K6Y3
Architects Section,
Iarnród Éireann /Irish Rail,
Network Enhancements Division of Capital Investments,
Engineering and New Works Building, Inchicore, Dublin D08 K6 Y3

T 087 9492566 E David.OCallaghan4@irishrail.ie W www.irishrail.ie



Comhairle Contae
Dhún na nGall
Donegal County Council

Planning Services

RECEIVED DATE: 05/02/2026

Planning Section
Donegal County Council,
Planning Services,
County House,
Lifford,
Co. Donegal,
F93 Y622.

4th February 2026.

RE: Bus Eireann Depot, Stranorlar Bus Depot, Railway Road, Stranorlar, Co. Donegal F93 YH74

Dear Sir/ Madam,

We now wish to apply for a section 5 exemption to the proposed works at the Bus Eireann Depot at Stranorlar on behalf of our client, Bus Eireann.

There are several remedial works required to the fabric of the Main depot and the associated stores buildings; these works are necessary to maintain the operational efficiency of this public transport facility.

Note we are **not** increasing the floor area or revising/ altering any of the principal elevations, the proposed materials we intend to replace will match the existing in colour.

The following is proposed:

Roof cladding

The existing cladding is more than 40 years old and is in very poor condition. There is widespread corrosion of the roof deck, deterioration of skylights and corrosion of gutter support brackets. The roof deck is to be replaced with an insulated roofing and polycarbonate skylights. New rainwater goods are required.

Solar array

- It is government policy to install solar panels on the roof of public buildings. The roof of the bus garage is well orientated without any overshadowing. The solar panels will supply power to the garage and administration wing.

Safe access to plantroom

There is no fixed access to the water tank plantroom located above the rear stairs. The ceiling space is limited, and the tanks are packed tightly together.

Man-safe roof system

A man-safe roof system will provide access to the solar array. The roof does not have protection around the perimeter. Access to the roof will also be provided.

Improve energy performance

The energy performance of the building will be improved by utilising the solar array and the benefits of insulated roof panels. The perimeter of the administration building is to be externally insulated and windows replaced with energy efficiency windows.

Refurbish the old store building

The asbestos roof sheets are damaged and there is significant corrosion of canopy steelwork. The roof deck is to be replaced with insulated roofing and all new rainwater goods. Corroded steelwork is to be repaired or replaced. A full electrical upgrade of the building is required.

Roller shutter Doors

Replace the roller shutter doors with rapid roll insulated roller doors

Two outbuildings

The roof covering is poor and has deteriorated and needs to be replaced

In support of this application, we now wish to submit the following drawings

- Drawing no 51.1. 627 P001 Plans Sections & Elevations
- Drawing no 51.1. 627 P002 site plans and floor plans
- Drawing no 51.1. 627 P003 Site location map
- Section 5 Application form

Our client has paid their prescribed fee of €80 directly to the council's cash office and we have a receipt reference of 667237, see below

We trust that this is in order, please contact the undersigned if you require any further information

Yours faithfully,



David O Callaghan



SECTION 5 APPLICATION


FOR DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

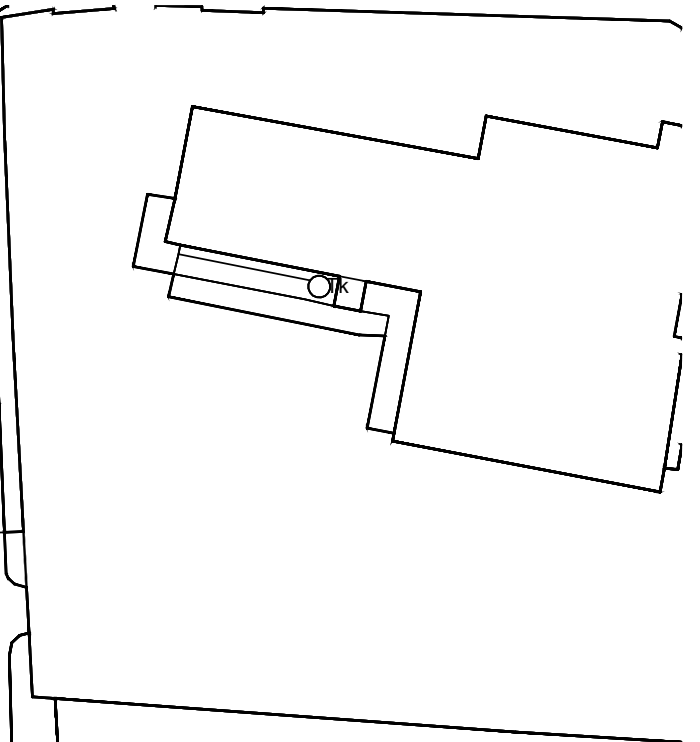
Completed application form & supporting documentation to be returned to the Planning Authority by email to planning@donegalcoco.ie

Name of Applicant(s):	Bus Eireann
Agent Name: (if applicable)	David O Callaghan
Location of Proposed Development / Works: (Townland or postal address as appropriate and Eircode if available)	Stranorlar Bus Depot Railway Road Stranorlar Co. Donegal F93 YH74
Description of Proposed Development including details of works (where applicable): (Only works listed below will be assessed under <u>this</u> section 5 application)	
<ul style="list-style-type: none">• Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods• Install a solar array to the Main Depot roof• Create safe access to the attic plant room and roof with access ladder• Install a man-safe fall arrest roof system• Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building• Refurbish the old store building, including replacement of the asbestos roof cladding• Replacement of the roller shutter doors with energy efficient roller shutter doors.• Replace existing windows with new Aluminum double glazed windows• Replace existing roof covering to both outhouses on site• Create 2no new fire exits, one to the North East gable wall, the other to the new rapid roll shutter door.	



Is the development a Protected Structure or within the curtilage of a Protected Structure?	Yes	No
		X
Has a declaration under Section 57 of the Planning and Development Act 2000 (as amended) been requested or issued in respect of the property.	Yes	No
		X
Applicant(s) Interest in the site:	Owner	
If not the Owner of the site, please provide the name of the Landowner:	Owner	
Please list types of plans, drawings etc. submitted with this application:	Drawing no 51.1. 627 P001 Plans Sections & Elevations Drawing no 51.1. 627 P002 site plans and floor plans Drawing no 51.1. 627 P003 Site loc map	
Planning History - list any relevant planning application reference numbers:	13/09/2001; 018211; erection of signage, new glazed entrance, footpaths and site lighting and alterations to pedestrian gate	
Are you aware of any enforcement proceedings connected to the site? If so, please supply details:	no	

I hereby certify that the information provided is true and accurate	
Signature of Applicant/Agent:	
Date:	27/01/26




Comhairle Contae Dhún na nGall
 Donegal County Council

Planning Services

RECEIVED DATE: 05/02/2026



NOTE:
 ALL DIMENSIONS ARE IN METRIC. DO NOT SCALE FROM DRAWING.
 CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/E.R..

REVISION	DRAWN	DATE	COMMENT

DRAWN **DOC** CHECKED **SR** SURVEYED DATE **JAN 2026**

OFFICE ARCHITECTS SECTION, ENGINEERING & NEW WORKS, INCHICORE WORKS, INCHICORE, DUBLIN 8



Bus Éireann, Stranorlar Roof replacement
Site Location Map

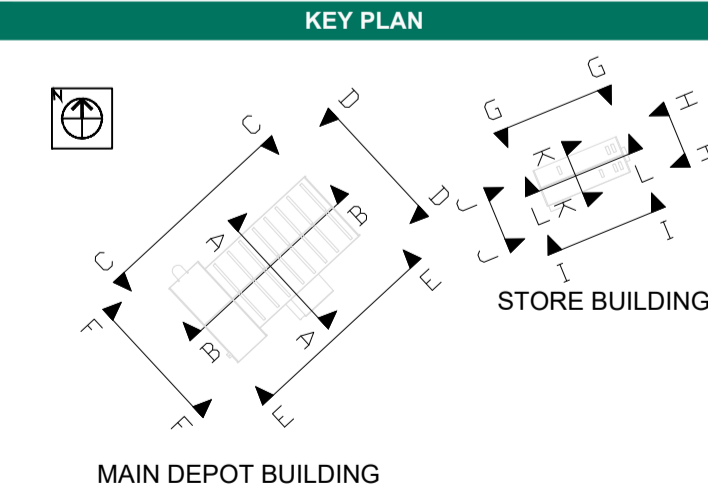
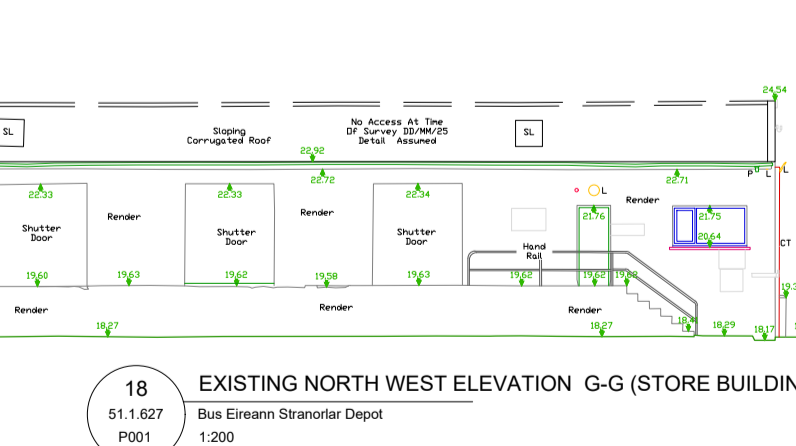
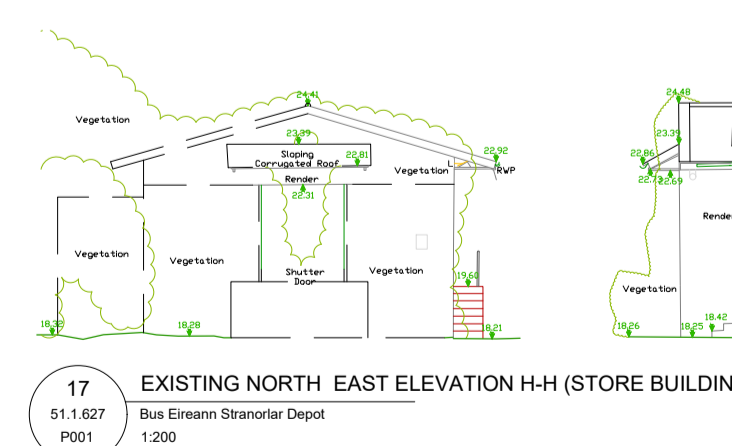
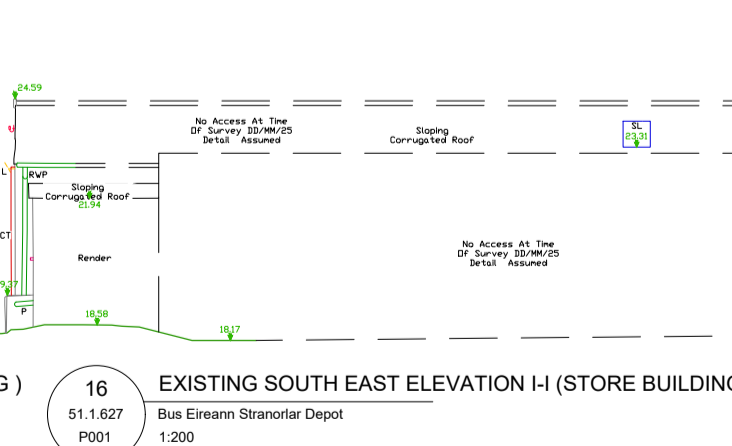
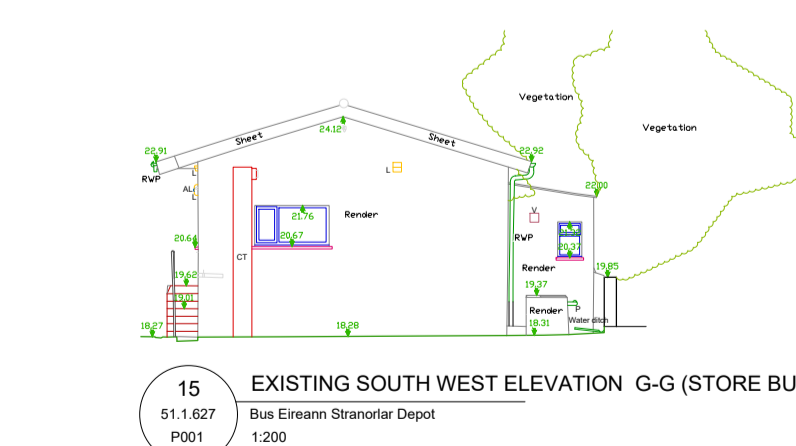
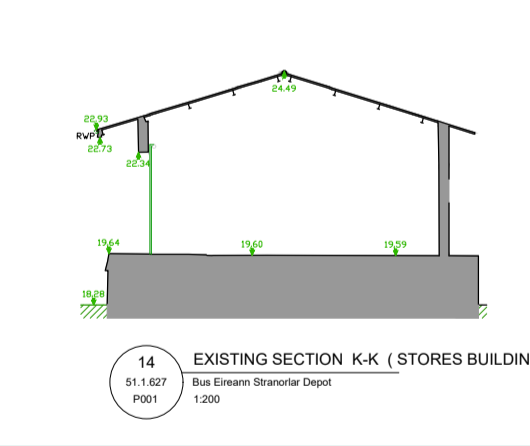
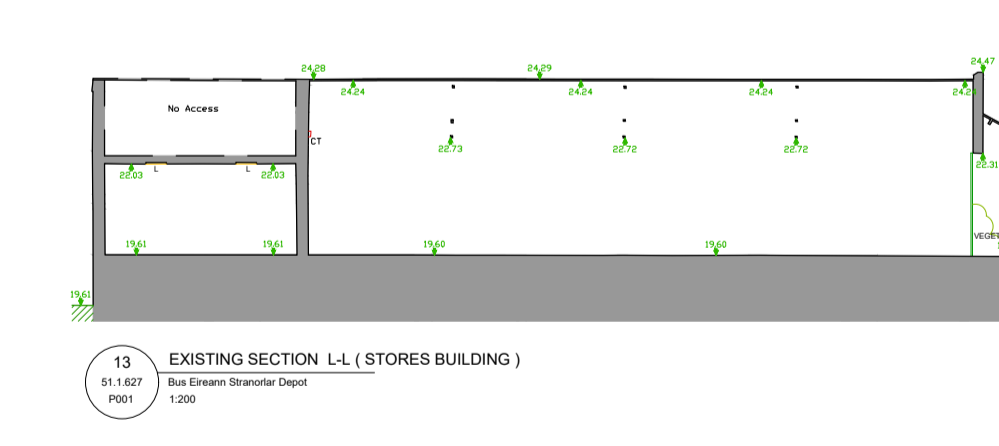
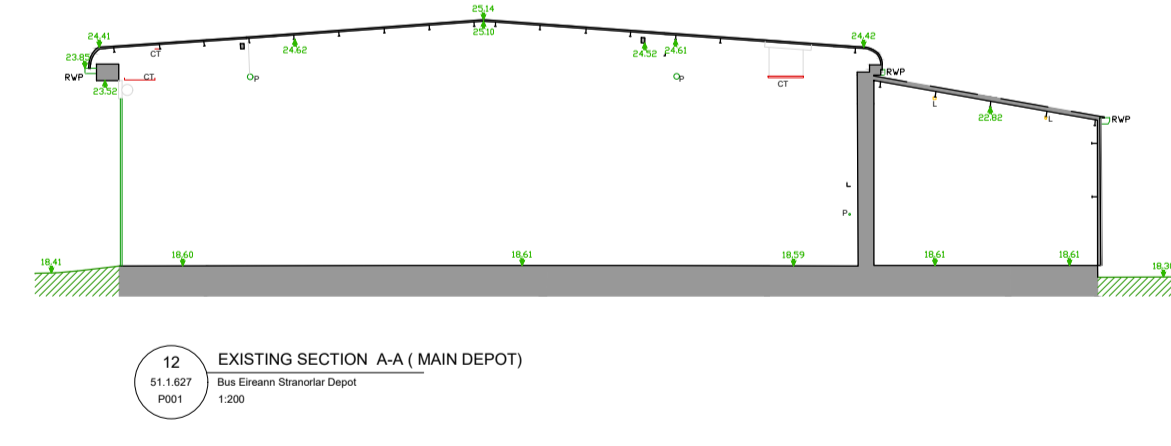
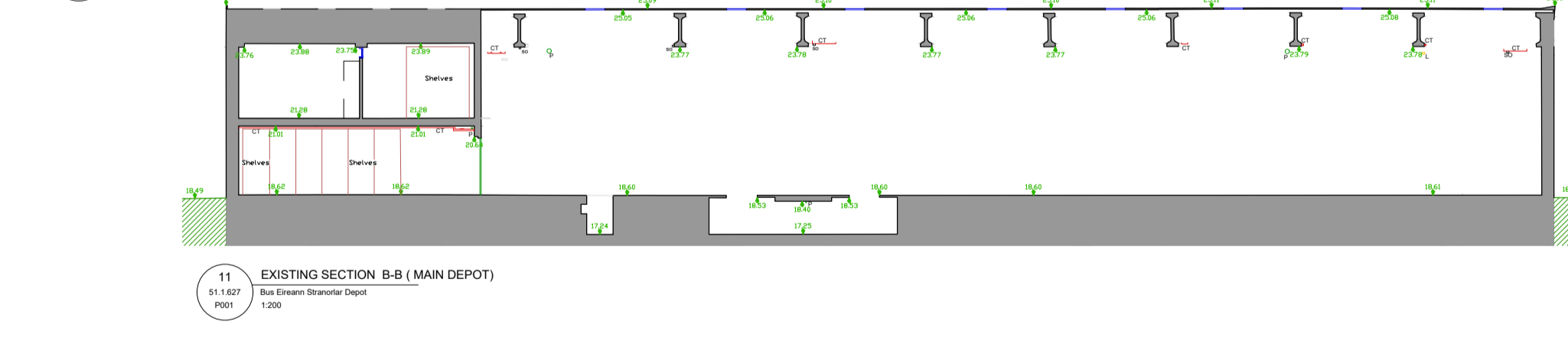
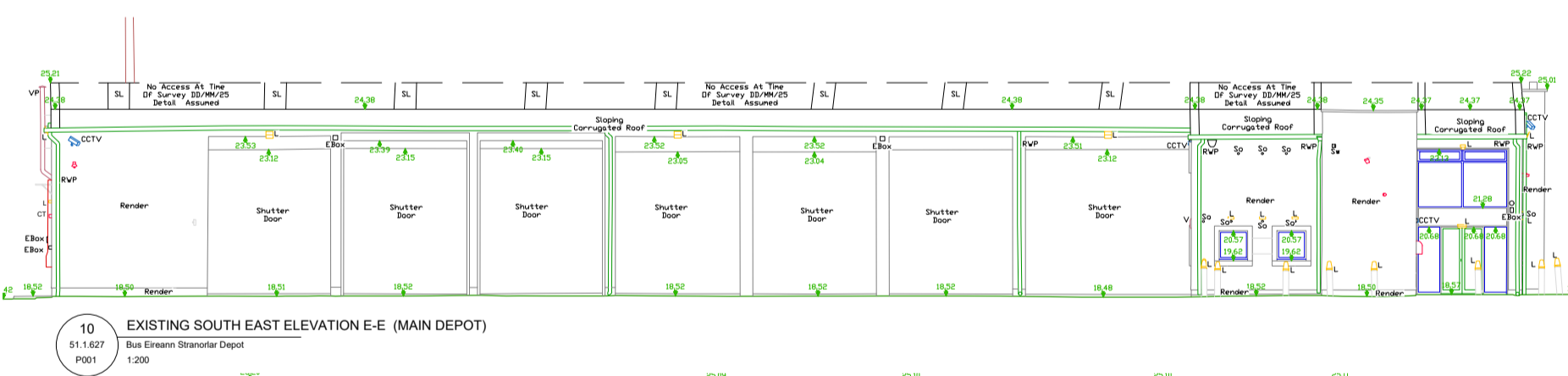
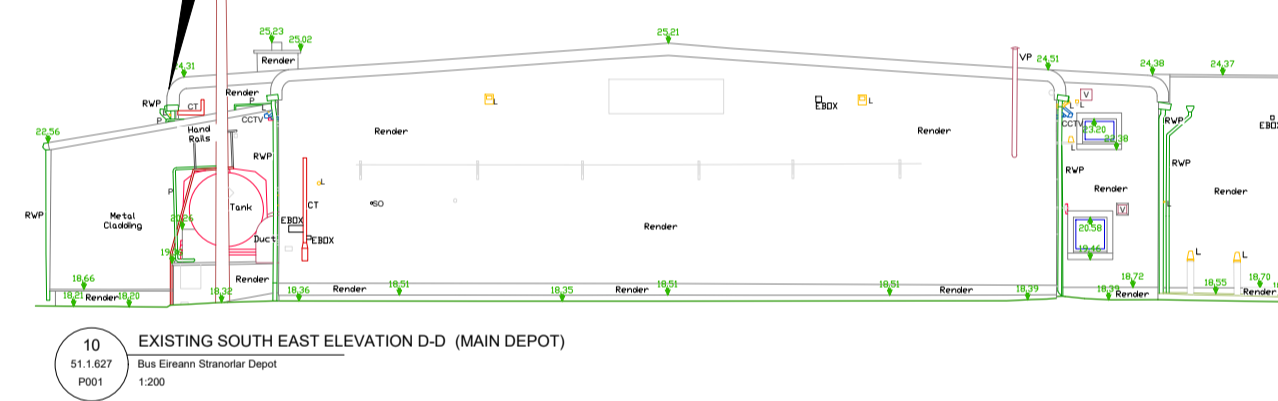
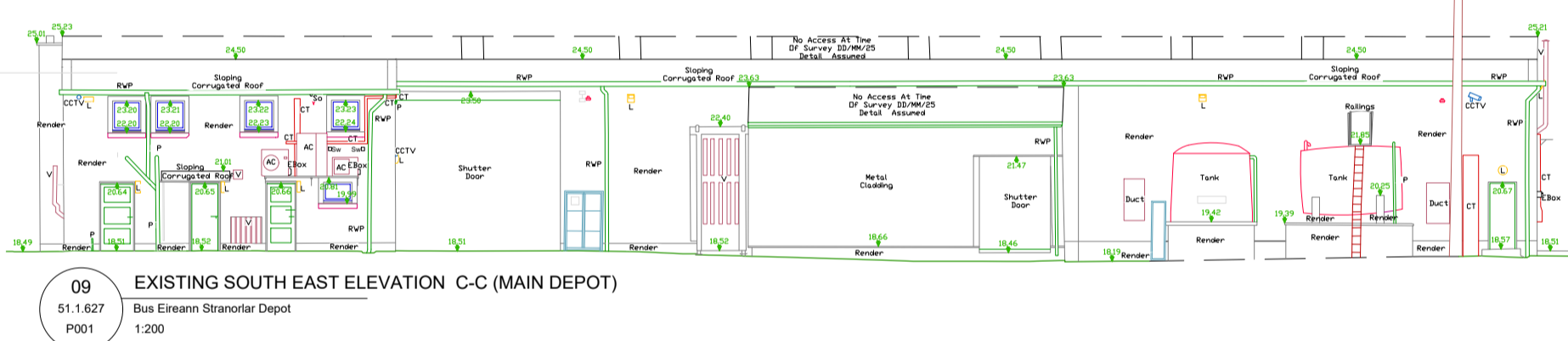
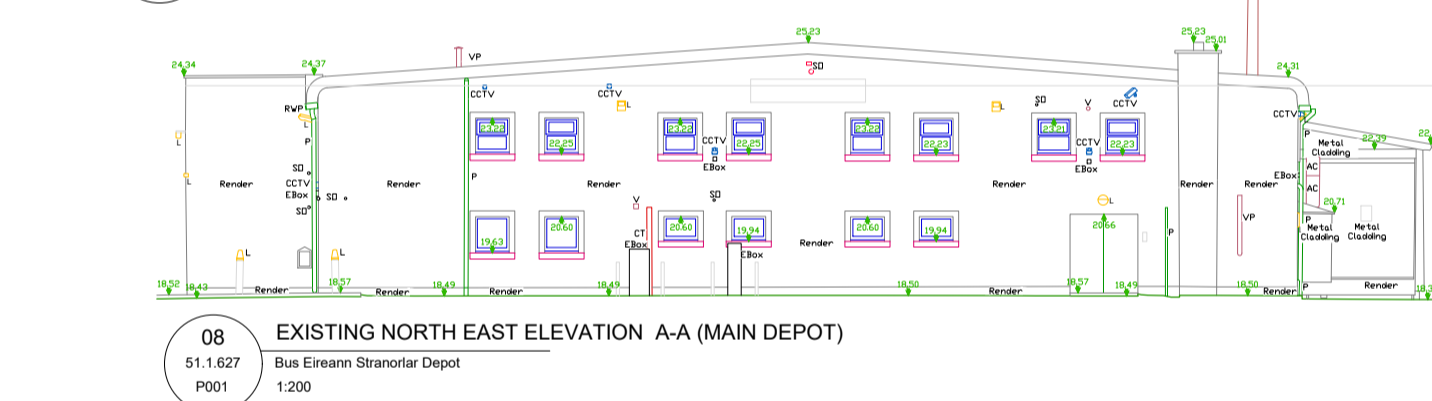
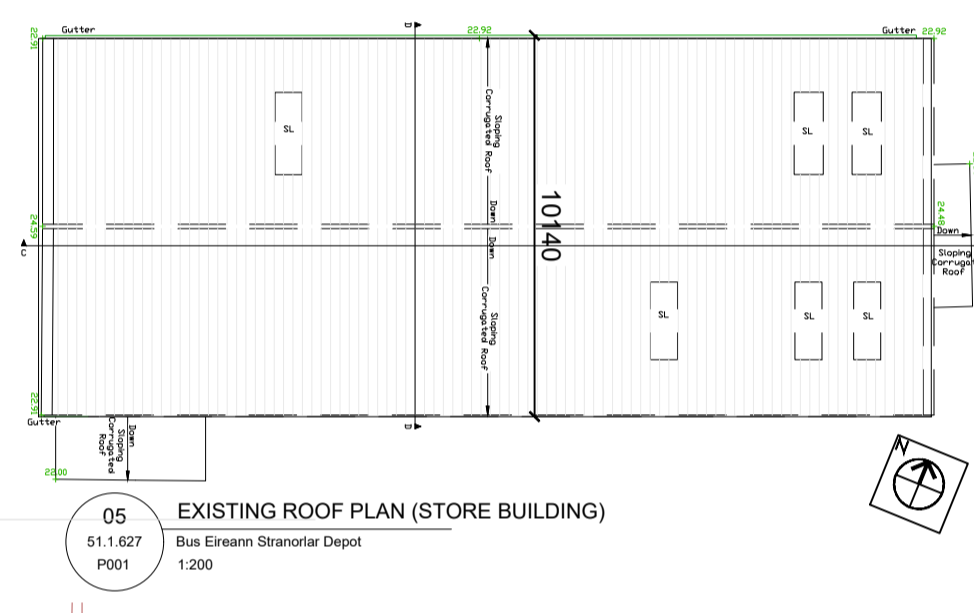
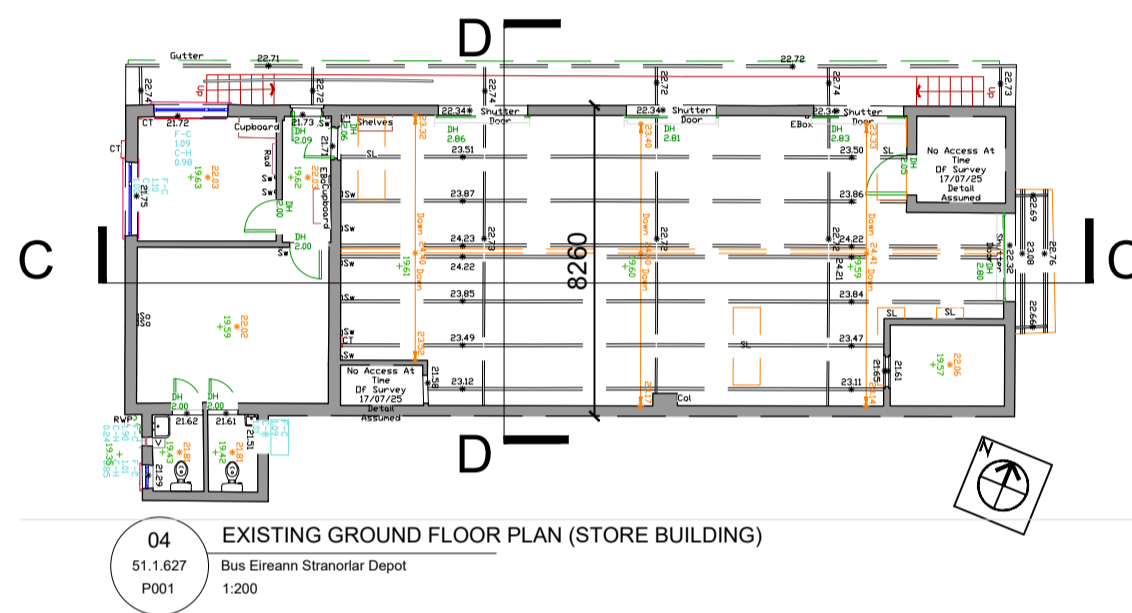
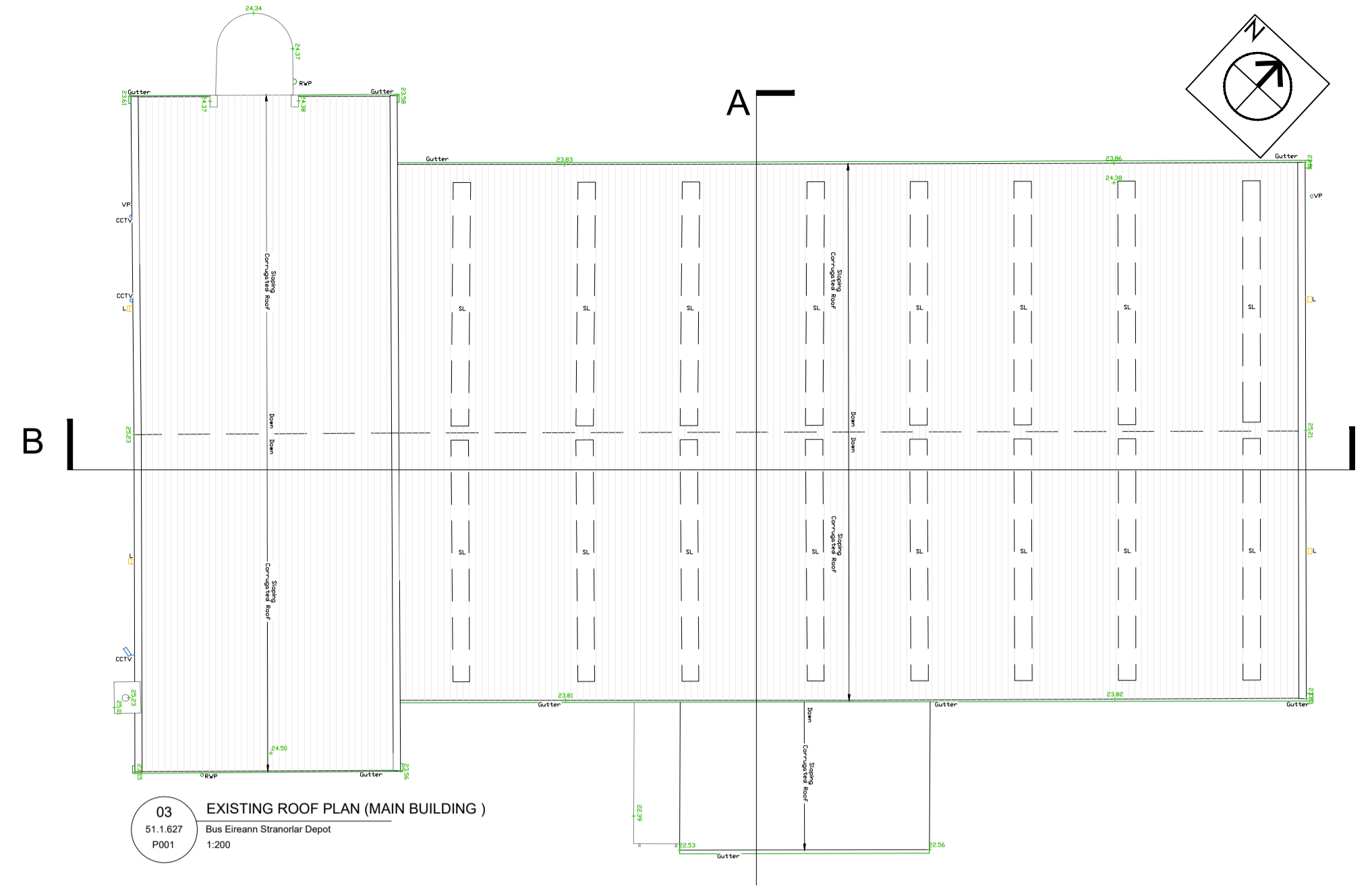
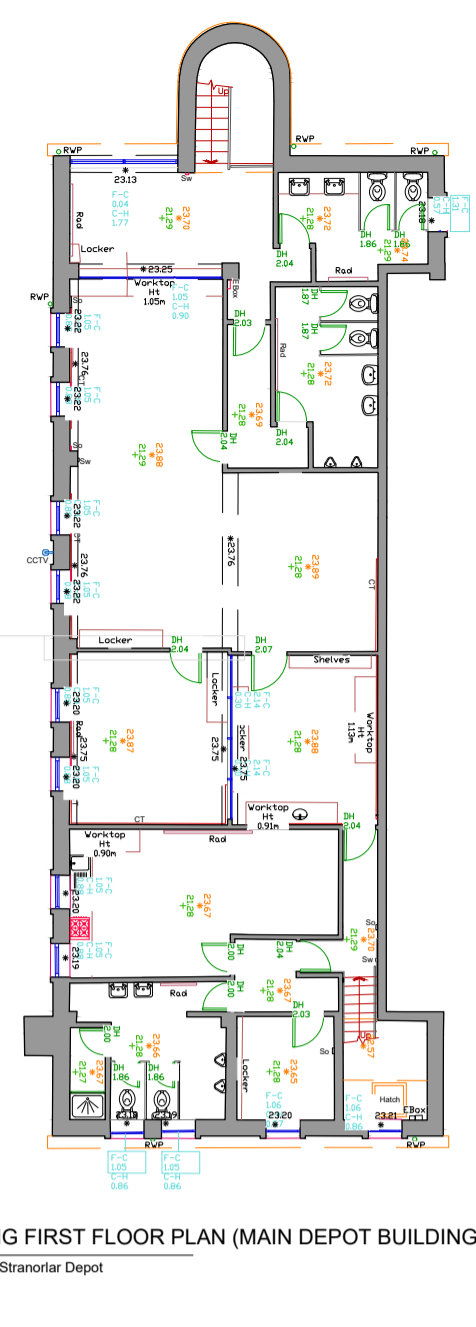
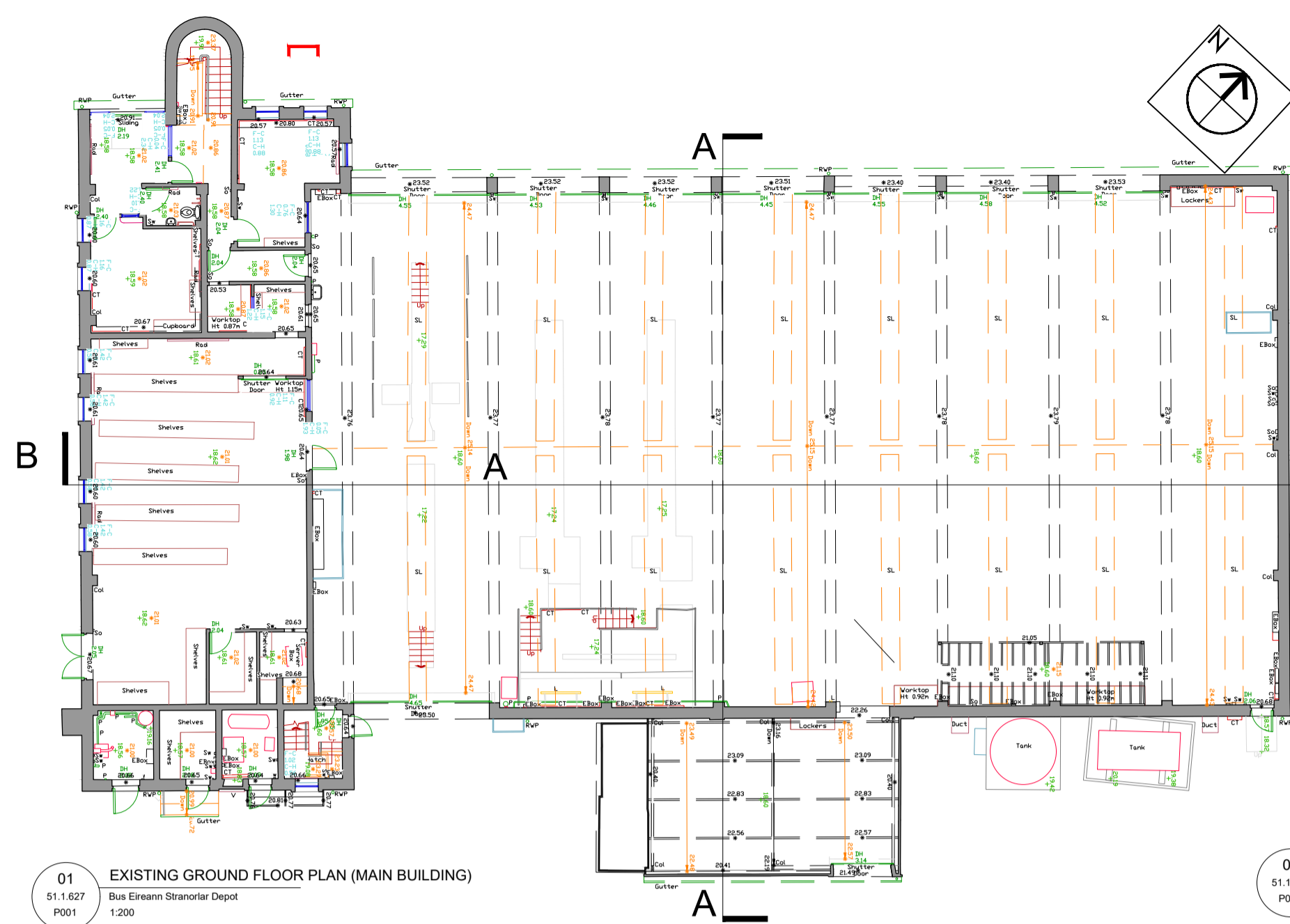
SCALE: 1:1000 DRAWING NO. 51.1. 627 P003

01 SITE LOCATION MAP SHEET NO 0401-14 ITM CENTRE 614532, 894832
 51.1.627 Bus Éireann Stranorlar Depot
 P003 1:1000

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SECTION 5 APPLICATION

BOUNDARY TO WHICH THE PLANNING APPLICATION RELATES 



SCOPE OF PROPOSED WORKS

ROOF GLAZING
THE EXISTING GLAZING IS MORE THAN 40 YEARS OLD AND IS IN VERY POOR CONDITION. THERE IS WIDESPREAD CORROSION OF THE ROOF DECK, DETERIORATION OF SKYLIGHTS AND CORROSION OF GUTTER SUPPORT BRACKETS. THE ROOF DECK IS TO BE REPLACED WITH AN INSULATED ROOFING AND POLYCARBONATE SKYLIGHTS. THIS WILL ALSO ENTAIL REPLACING THE RANWATER GOODS.

SOLAR ARRAY
IT IS GOVERNMENT POLICY TO INSTALL SOLAR PANELS ON THE ROOF OF PUBLIC BUILDINGS. THE ROOF OF THE BUS GARAGE IS WELL ORIENTATED WITHOUT ANY OVERSHADOWING. THE SOLAR PANELS WILL SUPPLY POWER TO THE GARAGE AND ADMINISTRATION WING.

SAFE ACCESS TO PLANTROOM
THERE IS NO FIXED ACCESS TO THE WATERTANK PLANTROOM LOCATED ABOVE THE REAR STAIRS. THE CEILING SPACE IS LIMITED, AND THE TANKS ARE PACKED TIGHTLY TOGETHER.

MAN-SAFE ROOF SYSTEM
A MAN-SAFE ROOF SYSTEM WILL PROVIDE ACCESS TO THE SOLAR ARRAY. THE ROOF DOES NOT HAVE PROTECTION AROUND THE PERIMETER. ACCESS TO THE ROOF IS ALSO REQUIRED.

IMPROVE ENERGY PERFORMANCE
THE ENERGY PERFORMANCE OF THE BUILDING WILL BE IMPROVED BY UTILISING THE SOLAR ARRAY AND THE BENEFITS OF INSULATED ROOF PANELS. THE PERIMETER OF THE ADMINISTRATION BUILDING IS TO EXTERNALLY INSULATED AND WINDOWS REPLACED WITH ENERGY EFFICIENCY WINDOWS.

REFURBISH THE OLD STORE BUILDING
THE ASBESTOS ROOF SHEETS ARE DAMAGED AND THERE IS SIGNIFICANT CORROSION OF CANOPY STEELWORK. THE ROOF DECK IS TO BE REPLACED WITH INSULATED ROOFING AND ALL NEW RANWATER GOODS. CORRODED STEELWORK IS TO BE REPAIRED OR REPLACED. A FULL ELECTRICAL UPGRADE OF THE BUILDING IS REQUIRED.

ROLLER SHUTTER DOORS
REPLACE THE ROLLER SHUTTER DOORS WITH RAPID ROLL INSULATED ROLLER DOORS ONE DOOR TO BE FITTED WITH A WCKET GATE AS A FIRE XIT

FIRE DOOR
IS IT ALSO PROPOSED TO CREATE A NEW FIRE EXIT DOOR IN THE NORTH EASTERN GABLE WALL OF THE DEPOT

PROPOSED FINISHES:
EXTERNAL INSULATED RENDER TO BE BS 4800-08 B15 MAGNOLIA TO MATCH EXISTING COLOURS. SELECTED EPS BOARDS MECHANICALLY FIXED TO EXTERNAL WALL FACE WITH APPLIED RENDER.
ROOF GLAZING TO BE KINGSPAN GOOSEWING GREY RAL 080705 BS 10A05 OR SIMILAR APPROVED. SELECTED PROFILED INSULATED ROOF PANELS.
RAPID ROLL SHUTTER DOORS TO BE GOOSEWING GREY RAL 080705 BS 10A05 OR SIMILAR APPROVED.

NOTE:
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND ENGINEERS DRAWINGS.
REFER TO THE STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATION FOR COMPLETE DETAILS ON ALL CIVIL AND STRUCTURAL REQUIREMENTS.
REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR COMPLETE DETAILS ON ALL MECH. & ELEC. REQUIREMENTS INCLUDING DETAILS ON THE FIRE ALARM & EMERGENCY LIGHTING REQUIREMENTS.

THE CONTRACTOR IS TO CONFIRM THE LOCATION OF ALL SERVICES ON SITE PRIOR TO WORKS COMMENCING AND IS TO REPORT, IN WRITING, ANY DISCREPANCIES ON SITE.
ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE FROM DRAWING.
CHECK ALL DIMENSIONS AND LEVELS ON SITE. WORK TO FIGURED DIMENSIONS ONLY.
ALL STRUCTURAL DETAILS TO BE APPROVED BY IARNRÓD ÉIREANN STRUCTURAL ENGINEERS.
ANY QUERIES OR DISCREPANCIES ARE TO BE REFERRED TO THE EMPLOYERS REPRESENTATIVE IMMEDIATELY.
DO NOT SCALE. WORK TO FIGURED DIMENSIONS ONLY. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O.
ALL LEVELS ARE IN METRES (MAIN HEAD) ALL SETTING OUT COORDINATES ARE RELATIVE TO THE RPA MODIFIED ITM GRID.



NOTE: ALL DIMENSIONS ARE IN METRIC. DO NOT SCALE FROM DRAWING. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/E.K.

REVISION	DRAWN	DATE	COMMENT
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DRAWN	CHECKED	SURVEYED	DATE
DOC	SR		JAN 2026

OFFICE ARCHITECTS SECTION, ENGINEERING & NEW WORKS, INCHICORE WORKS, INCHICORE, DUBLIN 9



Bus Eireann, Stranorlar Roof replacement
Section 5 Application, Ex Plans Sections & Elevations

SCALE: 1:200 @ A1 DRAWING NO: 51.1.627 P001

SECTION 5 APPLICATION

BOUNDARY TO WHICH THE PLANNING APPLICATION RELATES

SCOPE OF PROPOSED WORKS

ROOF CLADDING
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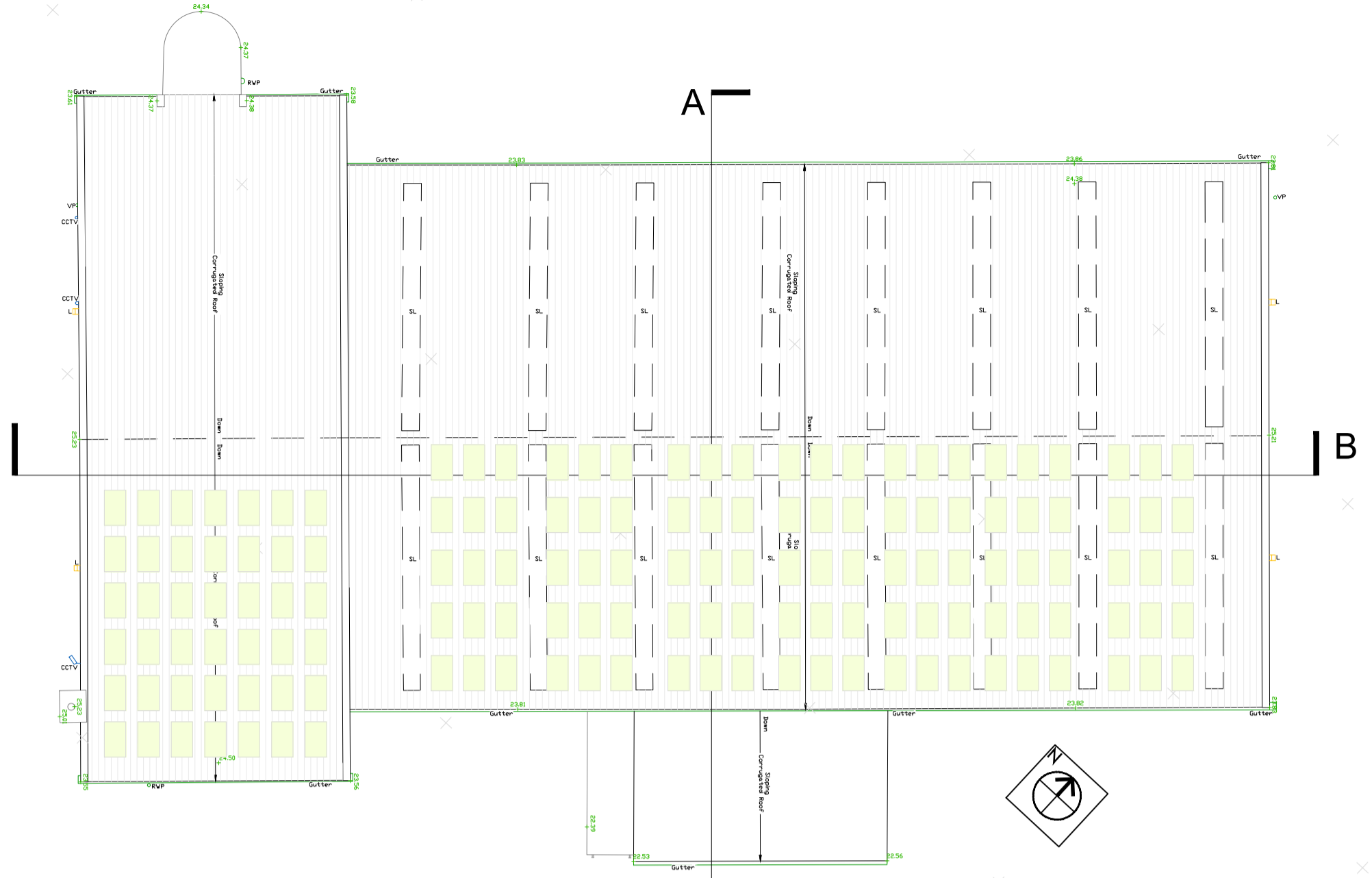
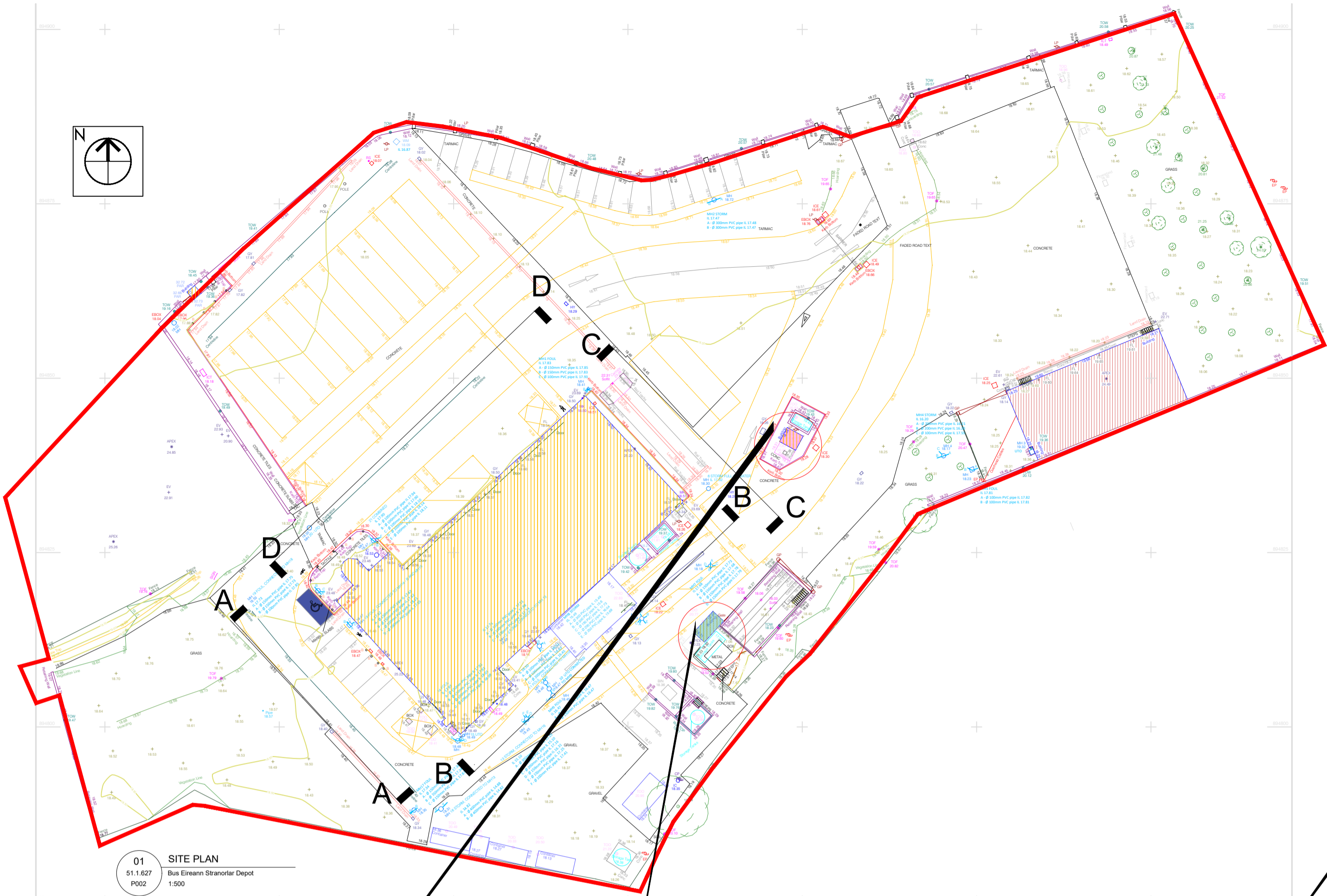
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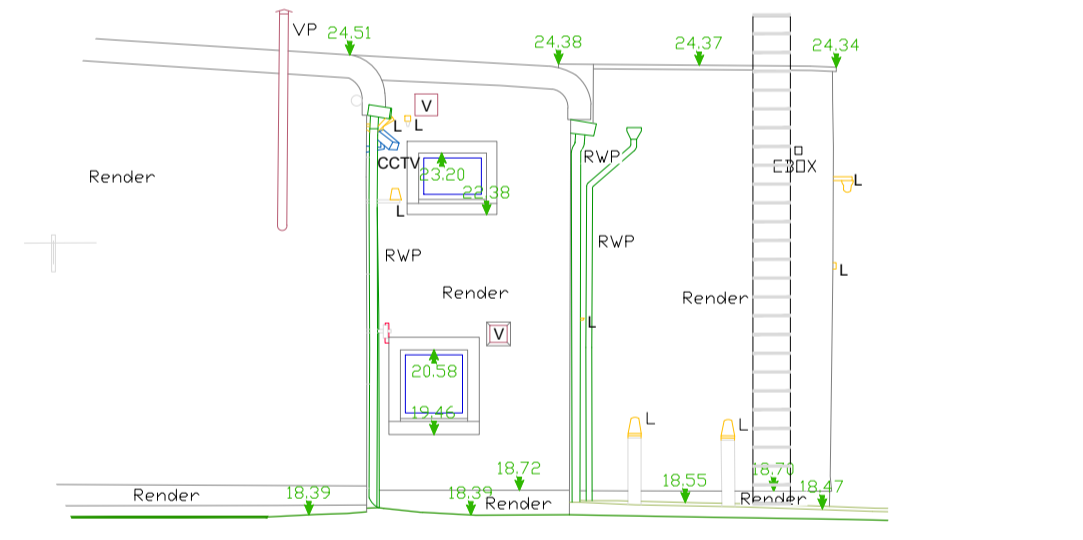
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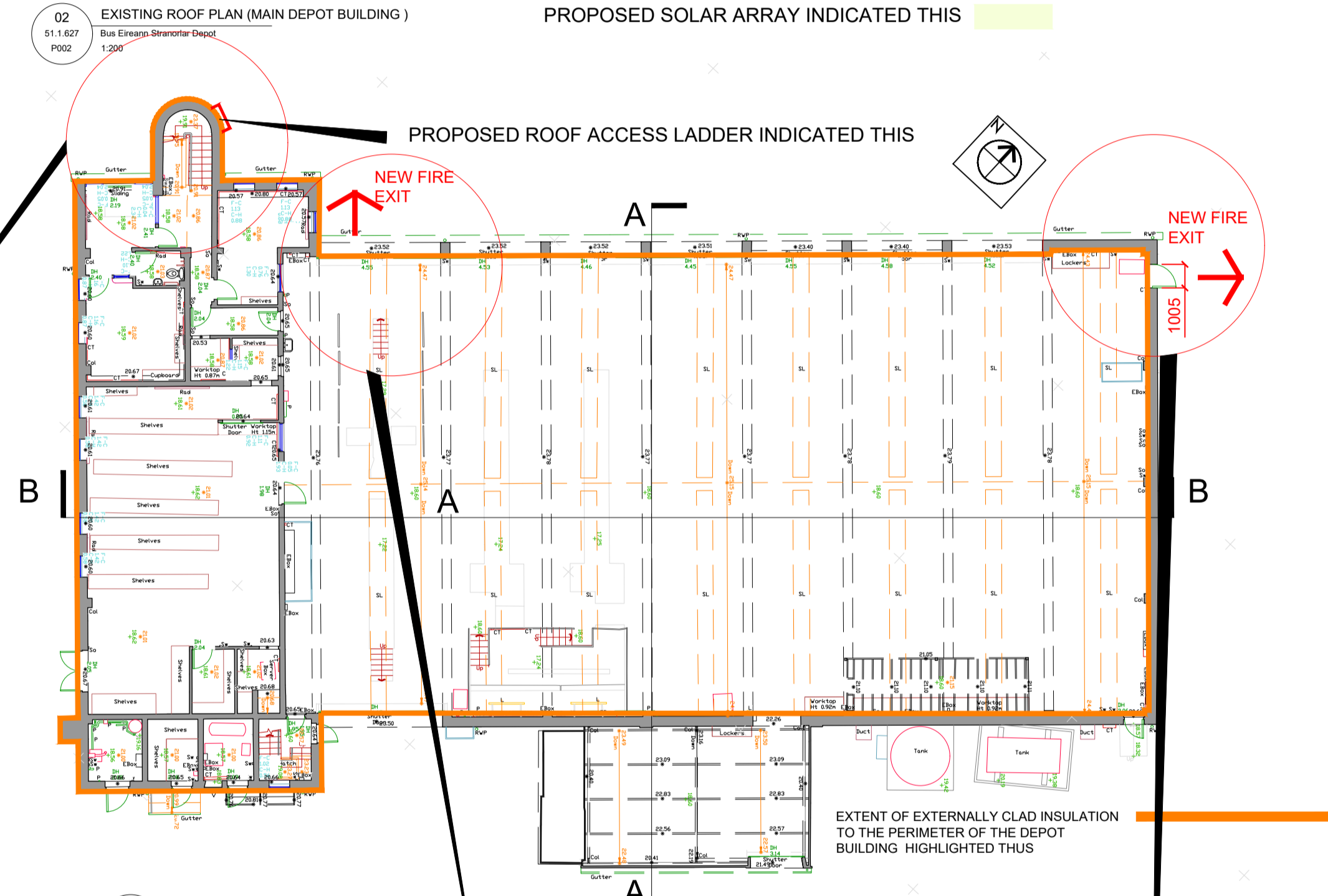
PROPOSED FINISHES:
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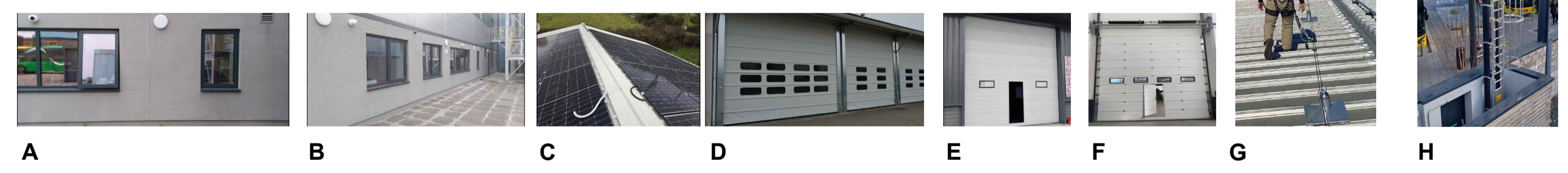
03 IMAGE SHOWING SMALL OUTBUILDINGS TO BE RE-ROOFED. (SEE SITE PLAN ABOVE FOR LOCATION)
OUTBUILDINGS SHOWN TO BE RE-ROOFED WITH PROPRIETARY SINGLE PLY MEMBRANE



04 PART ELEVATION SHOWING PROPOSED ROOF ACCESS LADDER (SEE LOCATION ABOVE)

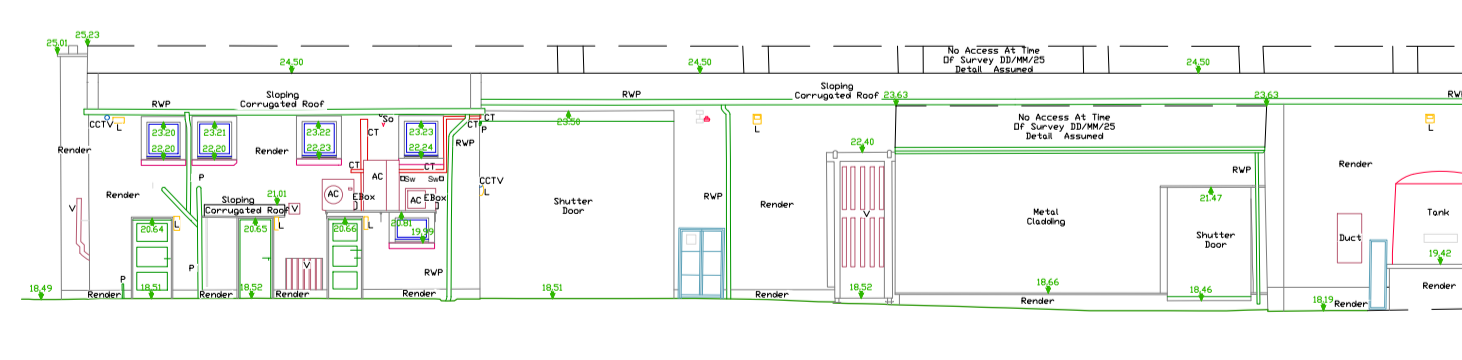


05 FLOOR PLAN (MAIN DEPOT BUILDING)



06 IMAGES; PROPOSED MATERIALS
IMAGES ARE SHOWN FOR SAMPLE PURPOSES ONLY, SEE SPECIFIED COLOURS OPPOSITE
A & B: ALUMINIUM WINDOWS AND DOORS
C: SOLAR ARRAY
D: RAPID ROLL INSULATED SHUTTER DOORS
E & F: RAPID ROLL INSULATED SHUTTER DOORS WITH FIRE ESCAPE WICKET DOOR
G: FALL ARREST SYSTEM FOR ROOF SAFETY MAINTENANCE
H: ROOF ACCESS LADDER

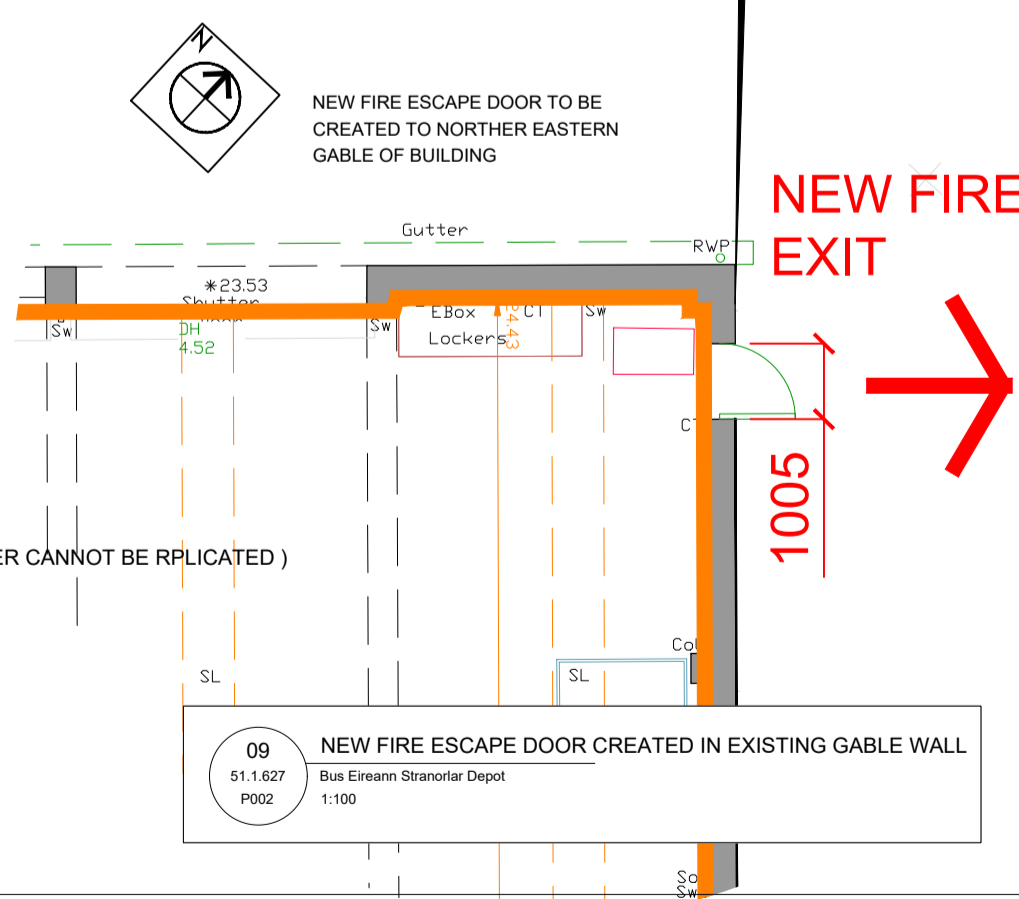
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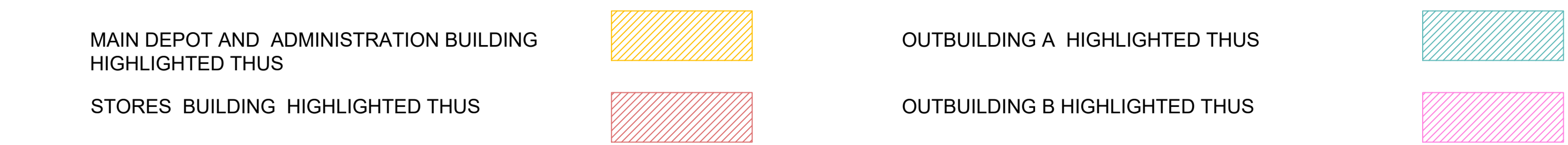
07 EXISTING SOUTH EAST ELEVATION C-C (MAIN DEPOT)



08 NEW EAVES GUTTER DETAIL: (EXISTING CURVED GUTTER CANNOT BE REPLICATED)



09 NEW FIRE ESCAPE DOOR CREATED IN EXISTING GABLE WALL



SECTION 5 APPLICATION

BOUNDARY TO WHICH THE PLANNING APPLICATION RELATES



CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT E.G.

REVISION	DRAWN	DATE	COMMENT

DRAWN	CHECKED	SURVEYED	DATE
DOC	SR		JAN 2026



Bus Eireann, Stranorlar Roof replacement
Section 5 Application, Site plans and floor plans



**Comhairle Contae
Dhún na nGall**
Donegal County Council

Áras an Chontae,
Leifear,
Contae Dhún na nGall, F93 Y622

County House,
Lifford,
County Donegal, F93 Y622

T: 074 91 53900
E: info@donegalcoco.ie
W: www.donegalcoco.ie
W: www.ccdhunnangall.ie

Planning Services
E: planning@donegalcoco.ie

E-mail: David.OCallaghan4@irishrail.ie

Our Ref: S526/13

5th February 2026

Bus Eireann,
C/o David O Callaghan,
Architects Section,
Iarnród Éireann / Irish Rail,
Network Enhancements Division of Capital Investments,
Engineering and New Works Building,
Inchicore,
Dublin 8

Re: Application to determine if remedial works and main depot and associated stores buildings at Stranorlar Bus Depot, Railway Road, Stranorlar, Co. Donegal, F93 YH74 is “exempted development” or not.

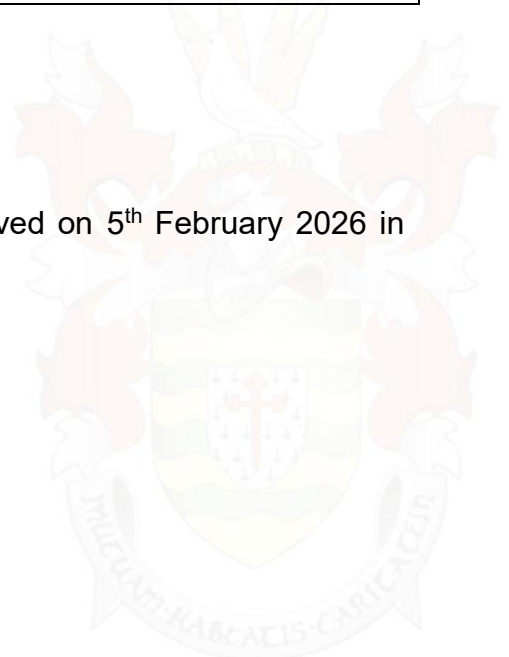
A Chara,

I wish to acknowledge receipt of your application received on 5th February 2026 in relation to the above.

Yours sincerely,

Jade Pearson

Donegal County Council
Planning Services



SECTION 5 REFERRAL REPORT – Ref. No: S5 26-13

1.0 BACKGROUND

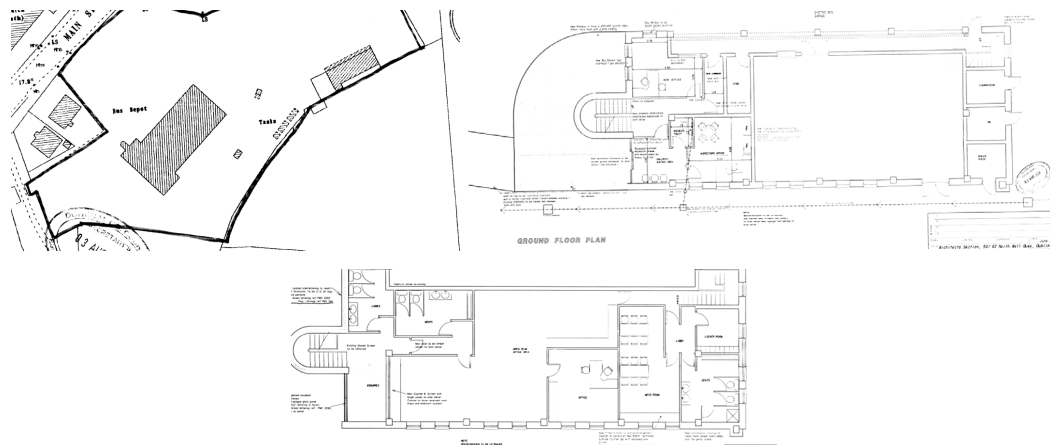
1.1 Location:

Stranorlar Bus Depot
Railway Road
Stranorlar
Co. Donegal
F93 YH74

Applicant: Bus Eireann

1.2 Planning History:

01/8211 Erection of signage, new glazed entrance, footpaths and site lighting and alterations to pedestrian gate - Conditional



First floor

1.3 Question:

The development the subject of this Section 5 referral relates to whether the following works are exempted development?

- i) Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods
- ii) Install a solar array to the Main Depot roof
- iii) Create safe access to the attic plant room and roof with access ladder
- iv) Install a man-safe fall arrest roof system
- v) Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building
- vi) Refurbish the old store building, including replacement of the asbestos roof cladding

- vii) Replacement of the roller shutter doors with energy efficient roller shutter doors.
- viii) Replace existing windows with new Aluminum double glazed windows
- ix) Replace existing roof covering to both outhouses on site
- x) Create 2no new fire exits, one to the North East gable wall, the other to the new rapid roll shutter door.

It is stated the works will not involve increasing the floor area or revising/ altering any of the principal elevations, the proposed materials we intend to replace will match the existing in colour.

In terms of the external insulated render it is stated to be bs 4800-08 b15 magnolia to match existing colours selected eps boards mechanically fixed to external wall face with applied render. Roof cladding to be kingspan goosewing grey



Existing finish on the building

The following details submitted with the application
Drawing no 51.1. 627 P001 Plans Sections & Elevations
Drawing no 51.1. 627 P002 site plans and floor plans
Drawing no 51.1. 627 P003 Site loc map

Image 1: Existing Premises



Image 2: Proposed Alterations



2.0 **EVALUATION**

2.1 **Planning and Development Act, 2000 (as amended)**

Section 2(1)

In this Act, except where the context otherwise requires –

“**alteration**” includes –

- (a) plastering or painting or the removal of plaster or stucco, or
- (b) **the replacement of a door, window or roof,**

That materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;

“**development**” has the meaning assigned to it by Section 3, and development shall be constructed accordingly

“**protection**”, in relation to a structure or part of a structure , includes conservation , preservation and improvement compatible with maintaining the character and interest of the structure or part:

“**Structure**” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and

- (a) Where the context so admits, includes the land on, in or under which the structure is situate...
- (b) In relation to a protected structure or proposed protected structure, includes-
 - (i) the interior of the structure
 - (ii) The land lying within the cartilage of the structure
 - (iii) Any other structures and features which form part of the interior or exterior of any structure or structures referred to in subparagraph (i) or (ii)

“**works**” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal....

Section 3(1):

Section 3(1) of the Act states:

“**Development**” in this Act means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1):

Section 4(1) of the Act specifies a series of categories of development considered to be exempted development for the purposes of the Act.

Section 4(1)(h):

Section 4(1)(h) of the Act states that the following shall be exempted development for the purposes of the Act:

‘Development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures’.

Section 177U(9)

“In deciding upon a declaration for the purposes of Section 5 of this Act a planning authority or the Board, as the case maybe, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this Section.”

2.2 Planning and Development Regulations, 2001 (as amended)

Part 2 Exempted Development

Article 5(1)

relates to 'exempted development', provides the following definitions that are relevant in considering this to be exempted development:

“ancillary equipment” for the purpose of rooftop solar photo-voltaic or solar thermal collector panels in classes 56(d), 56(e), 60 or 61 of Part 1 of Schedule 2 and class 18(c) of Part 3 of Schedule 2 does not include any equipment which must be placed or erected on a wall, or a rooftop allow a solar photo-voltaic or solar thermal collector installation to function;

“business premises” means—

(a) any structure or other land (not being an excluded premises) which is normally used for the carrying on of any professional, commercial, or industrial undertaking or any structure (not being an excluded premises) which is normally used for the provision therein of services to persons,

(b) a hotel, hostel (other than a hostel where care is provided) or public house, or

(c) any structure or other land used for the purposes of, or in connection with, the functions of a State authority;

“solar safeguarding zone” has the same meaning as in the Planning and Development (Solar Safeguarding Zone) Regulations 2022;

Article 6(1)

provides that development of a class, as specified in Column 1 of Part 1 in Schedule 2, shall be exempted development for the purposes of the Act, provided that such development complies with the conditions specified in Column 2, and subject to Article 9 of the Regulations which outlines certain restrictions on exempted development.

Class 56 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended)

Column 1-Description of Development

(e) The placing or erection on a roof of a business premises or light industrial building, or within the curtilage of a business premises or light industrial building, or on a roof of any ancillary buildings within the curtilage of a business premises or light industrial building of a solar photo-voltaic and/or solar thermal collector installation.

Column 2-Conditions & Limitations:

1. Where such development is located within a solar safeguarding zone, the total aperture area of any solar photo-voltaic and/or solar thermal collector panels, taken together with any other such panels previously placed on a roof, shall not exceed 300 square metres.
2. Where such development is located within a solar safeguarding zone, the planning authority for the area shall be notified in writing no later than 4 weeks after the commencement of such development and such notification shall include details regarding the location and scale of the development.
3. The distance between the plane of the roof and the solar photo-voltaic or solar thermal collector panels shall not exceed:
 - a. for a business premises, 1.2 metres in the case of a flat roof or 15cm in any other case.
 - b. for a light industrial building, 2 metres in the case of a flat roof or 50cm in any other case.
4. The solar photo-voltaic or solar thermal collector panels shall be a minimum of 2 metres in the case of a flat roof or 50cm in any other case from the edge of the roof on which it is mounted.
5. Development shall not be exempted development where the highest part of the solar photo-voltaic or solar thermal collector installation exceeds the highest part of any roof that is not a flat roof (excluding any chimney).
6. Any ancillary equipment associated with solar photo-voltaic or solar thermal collector panels shall not be placed or erected on a wall or any roof that is not a flat roof.
7. The height of any ancillary equipment associated with solar photo-voltaic or solar thermal collector panels on a flat roof shall not exceed 1.6 metres above roof level.
8. Any ancillary equipment associated with solar photo-voltaic or solar thermal collector panels on a flat roof shall be a minimum of 2 metres from the edge of the roof on which it is mounted.
9. Any free-standing solar photo-voltaic or solar thermal collector installation shall not be placed or erected forward of the front wall of the business premises or light industrial building.
10. The total aperture area of any free-standing solar photo-voltaic and solar thermal collector panels taken together with any other such existing free-standing panels shall not exceed 75 square metres.

11. The height of any free-standing solar photo-voltaic or solar thermal collector installation shall not exceed 2.5 metres at its highest point above ground level.

12. The placing or erection of a solar photo-voltaic or solar thermal collector installation on any wall shall not be exempted development.

13. The placing or erection of any free-standing solar photo-voltaic or solar thermal collector installation within an Architectural Conservation Area shall only be exempted development if those works would not materially affect the character of the area.

14. No sign, advertisement or object not required for the functioning or safety of the solar photo-voltaic or solar thermal collector installation shall be attached to or exhibited on such installation.

15. Development under this Class shall only be exempted development where the solar photo-voltaic or solar thermal collector installation is primarily used for the provision of electricity or heating for use within the curtilage of the business premises or light industrial building, and shall not be considered a change of use for the purposes of the Act.

16. Development under this Class which causes hazardous glint and/or glare shall not be exempted development and any solar photo-voltaic or solar thermal collector panels which are causing hazardous glint and/or glare shall either be removed or be covered until such time as a mitigation plan to address the hazardous glint and/or glare is agreed and implemented to the satisfaction of the Planning Authority.

Article 9(1)

Development to which article 6 relates shall not be exempted development for the purposes of the Act –

(a) if the carrying out of such development would -

Sub-paragraphs (i) – (xii) (inclusive)

3.0. ASSESSMENT

The current adopted plan is the County Donegal Development Plan 2024-2030 (herein referred to as ‘CDDP 2024-2030’).

The subject site is located within the Plan Boundary for **Ballybofey-Stranolar Area Plan (contained within the aforementioned CDDP 2024-30)** on lands zoned as **Established Development 2**

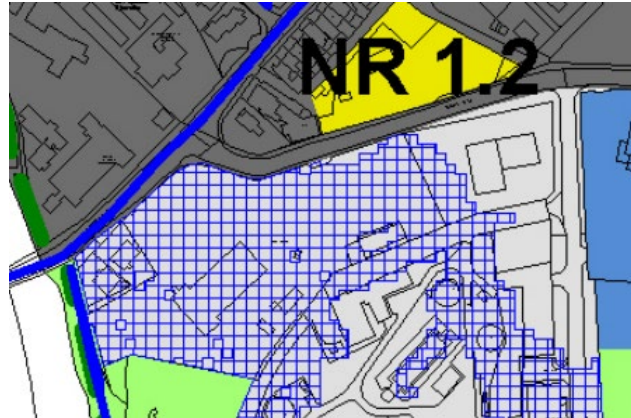


Table 17.1 land use zoning objective for this zoning is as follows:

Established Development 2: *To conserve and enhance the quality and character of the area, to protect residential amenity and only support applications for minor developments, such as small extensions to houses, and most changes of use of existing buildings and or extensions and additions to existing commercial and industrial enterprises.*

-No other relevant designation considerations. The subject buildings are not listed on the RPS nor the NIAH buildings of Ireland.

3.1 Consideration Of Proposed Development:

3.2. In terms of consideration of the proposed alterations to the buildings within the site;

- Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods
- Create safe access to the attic plant room and roof with access ladder
- Install a man-safe fall arrest roof system
- Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building
- Refurbish the old store building, including replacement of the asbestos roof cladding
- Replacement of the roller shutter doors with energy efficient roller shutter doors.
- Replace existing windows with new Aluminum double glazed windows
- Replace existing roof covering to both outhouses on site
- Create 2no new fire exits, one to the North East gable wall, the other to the new rapid roll shutter door.

It is noted that the works listed above relate to modifications to existing openings and replacement of openings/roofs and creation of 2 new fire exits and, as such,

represents alterations to the structure, which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures’

Therefore the proposed amendments accord with Section 4(1)(h) of the Planning & Development Act, 2000 (As Amended) states that the following shall be exempted development for the purposes of the Act:

3.3 In relation to the installation of a solar array to the Main Depot roof

- (i) The proposed installation of Solar Panels at Roof Level will involve the alteration of the roof to provide for the ancillary equipment needed to support the PV Panels and connect internally. The physical installation of the Panels *is* considered to be “works” and it is therefore accepted that the process involved constitutes “development” as defined under S2(1) & S3(1) respectively of the Planning And Development Act, 2000(as amended).
- (ii) It is also considered that the proposed works noted above do constitute “development” within the meaning of the Act, being works, but is exempted development coming within the scope of Section 4 (1) (h) of the Planning & Development Act 2000 (as amended) .
- (iii) Based on the nature of the works, Appropriate assessment is not a consideration in the assessment of this referral as per Section 177U(9).

Planning & Development Regulations, 2001(as amended)

- (i) Having regard to article 5(1),
 - a. the existing building for the purposes of assessment is considered to fall within a business use.
 - b. *ancillary equipment” for the purpose of rooftop solar photo-voltaic or solar thermal collector panels in classes 56(d), 56(e), 60 or 61 of Part 1 of Schedule 2 and class 18(c) of Part 3 of Schedule 2 does not include any equipment which must be placed or erected on a wall, or a rooftop allow a solar photo-voltaic or solar thermal collector installation to function;*
 - c. the site is *not* located within a solar safeguarding zone

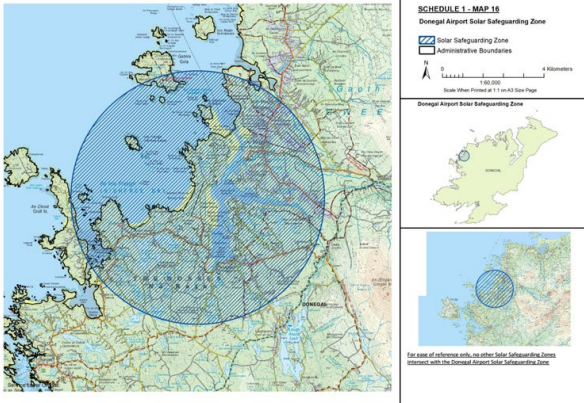
in terms of Article 6 which states that:

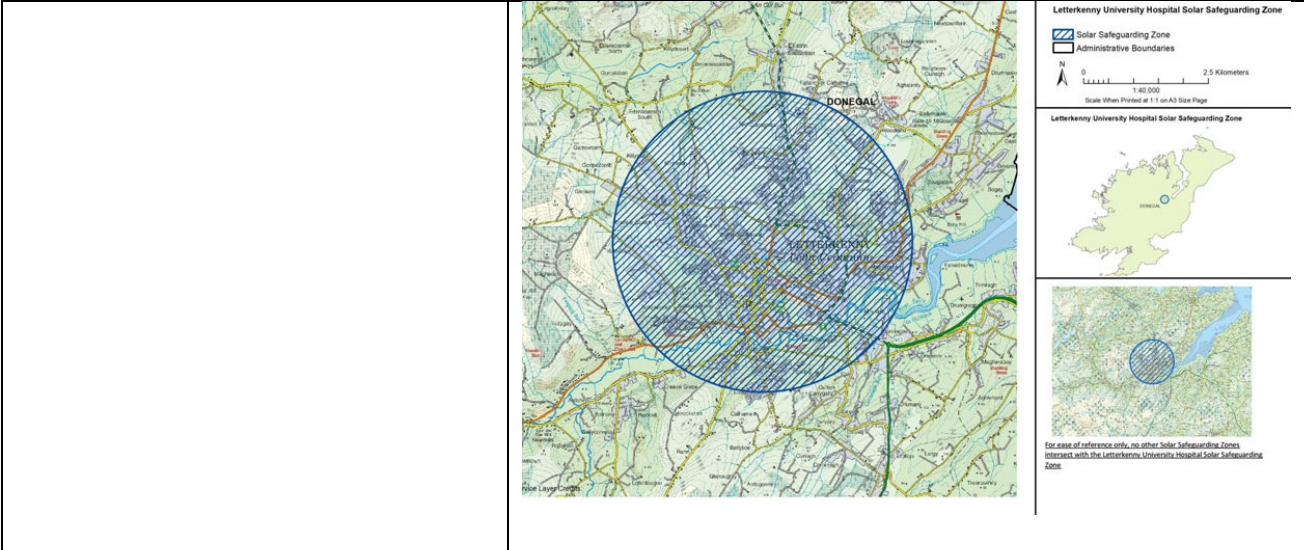
‘Subject to Article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in Column 2 of the said Part 1 opposite the mention of that class in the said Column 1.’ Whereby S9(1)(a) which sets out restrictions on exempted development, where the development would:

- (i) *contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act, or*
- (viii) *consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use.*

It is considered that in the case of the proposed development at Bus Eireann, that the conditions set out in the grant of permission under Reg. Ref 01/8211 do not restrict the development of PV Panels at Roof Level. Therefore, Section 9(1)(a) does not apply to the proposed development.

Having regard to The Planning and Development Act, 2000 (as Amended) (Exempted Development) (No. 3) Regulations 2022 (S.I No. 493 of 2022) which amends the solar energy infrastructure planning exemptions in the Planning and Development Regulations 2001 (as amended). Class 56(e) of the Exempted Development Regulations S.I 493, 2022, as referenced under Article 6(1) of the Primary Planning and Development Regulations, 2001 (as amended) outlines the relevant conditions and limitations that apply to photovoltaic panels.

Condition & Limitation Thresholds	Planning Authority Considerations
<p>1. Where such development is located within a solar safeguarding zone, the total aperture area of any solar photovoltaic and/or solar thermal collector panels, taken together with any other such panels previously placed on a roof, shall not exceed 300 square metres.</p>	<p>N/A- site is outside two solar safeguarding zone applicable to Donegal.</p> 



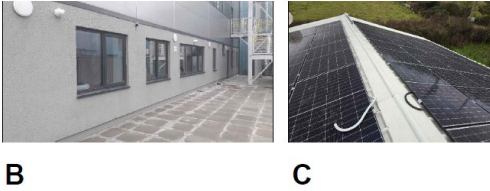
2. Where such development is located within a solar safeguarding zone, the planning authority for the area shall be notified in writing no later than 4 weeks after the commencement of such development and such notification shall include details regarding the location and scale of the development.

N/A- site is outside a solar safeguarding zone.

3. The distance between the plane of the roof and the solar photo-voltaic or solar thermal collector panels shall not exceed:

- a. for a business premises, 1.2 metres in the case of a flat roof or 15cm in any other case.
- b. for a light industrial building, 2 metres in the case of a flat roof or 50cm in any other case.

The design proposal does not exceed these size thresholds.



IMAGES ARE SHOWN FOR SAMPLE PURPOSES ONLY, SEE SPECIFIED COLOURS OPPOSITE
 A & B : ALUMINIUM WINDOWS AND DOORS
 C: SOLAR ARRAY

4. The solar photo-voltaic or solar thermal collector panels shall be a minimum of 2 metres in the case of a flat roof or 50cm in any other case from the edge of the roof on which it is mounted.

The design proposal does not exceed these size thresholds.

<p>5. Development shall <i>not</i> be exempted development where the highest part of the solar photo-voltaic or solar thermal collector installation exceeds the highest part of any roof that is not a flat roof (excluding any chimney)</p>	<p>The design proposal does not exceed these size thresholds.</p>
<p>6. Any ancillary equipment associated with solar photo-voltaic or solar thermal collector panels shall not be placed or erected on a wall or any roof that is not a flat roof.</p>	<p>The design complies with this requirement.</p>
<p>7. The height of any ancillary equipment associated with solar photo-voltaic or solar thermal collector panels on a flat roof shall not exceed 1.6 metres above roof level.</p>	<p>The design complies with this requirement</p>
<p>9. Any free-standing solar photo-voltaic or solar thermal collector installation shall not be placed or erected forward of the front wall of the business premises or light industrial building.</p>	<p>Not applicable, this is a proposal for rooftop photovoltaic panels.</p>
<p>10. The total aperture area of any free-standing solar photo-voltaic and solar thermal collector panels taken together with any other such existing free-standing panels shall not exceed 75 square metres.</p>	<p>Not applicable, this is a proposal for rooftop photovoltaic panels.</p>
<p>11. The height of any free-standing solar photo-voltaic or solar thermal collector installation shall not exceed 2.5</p>	<p>Not applicable, this is a proposal for rooftop photovoltaic panels.</p>

<p>metres at its highest point above ground level.</p>	
<p>12. The placing or erection of a solar photo-voltaic or solar thermal collector installation on any wall shall not be exempted development.</p>	<p>The design proposal complies with this requirement.</p>
<p>13. The placing or erection of any free-standing solar photo-voltaic or solar thermal collector installation within an Architectural Conservation Area shall only be exempted development if those works would not materially affect the character of the area.</p>	<p>Development is Not located within an ACA.</p>
<p>14. No sign, advertisement or object not required for the functioning or safety of the solar photo-voltaic or solar thermal collector installation shall be attached to or exhibited on such installation.</p>	<p>The design proposal complies with this requirement.</p>
<p>15. Development under this Class shall only be exempted development where the solar photo-voltaic or solar thermal collector installation is primarily used for the provision of electricity or heating for use within the curtilage of the business premises or light industrial building, and shall not be considered a change of use for the purposes of the Act.</p>	<p>Applicant has confirmed that power generated by the photovoltaic panels will supply power to the garage and administration wing.</p>

<p>16. Development under this Class which causes hazardous glint and/or glare shall not be exempted development and any solar photo-voltaic or solar thermal collector panels which are causing hazardous glint and/or glare shall either be removed or be covered until such time as a mitigation plan to address the hazardous glint and/or glare is agreed and implemented to the satisfaction of the Planning Authority.</p>	<p>To be advised .</p>
--	------------------------

4.0 Determination:

- 4.1 The Planning Authority is satisfied that the proposed development (as noted above) constitutes development within the meaning given in the Planning and Development Act, 2000 (as amended).
- 4.2 In terms of the proposed alterations;
- i) Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods
 - ii) Create safe access to the attic plant room and roof with access ladder
 - iii) Install a man-safe fall arrest roof system
 - iv) Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building
 - v) Refurbish the old store building, including replacement of the asbestos roof cladding
 - vi) Replacement of the roller shutter doors with energy efficient roller shutter doors.
 - vii) Replace existing windows with new Aluminum double glazed windows
 - viii) Replace existing roof covering to both outhouses on site
 - ix) Create 2no new fire exits, one to the North East gable wall, the other to the new rapid roll shutter door.

The Planning Authority is satisfied that the proposed works noted above constitute “development” within the meaning of the Act, being works, but is exempted development coming within the scope of Section 4- (1) (h) of the Planning and Development Act 2000, (as amended).

- 4.3 With regards to the installation of a solar array to the Main Depot roof constitutes “development” within the meaning of the Act, being works, but is *exempted development* under the scope of Section 4 (1) (h) of the Planning & Development Act 2000 (as amended).

Please note the proposed development, when assessed against the threshold requirements of Class 56(e) of the Exempted Development Regulations S.I 493, 2022, as referenced under Article 6(1) of the Primary Planning and Development Regulations, 2001 (as amended) complies with and is below the thresholds.

Regard has also been had to Section 177U(9) of the Planning & Development Act 2000 (as amended). A screening report will not be carried out in respect of the above mentioned works on the basis that development considered under Section 4(1)(h) cannot be de-exempted in respect of Section 177U(9).

It should also be noted that in determining the subject section 5 referral regard was had to recent Section 5 referrals to An Bord Pleanala for determination.

Recommendation:

IT IS HEREBY RECOMMENDED THAT A DECLARATION BE MADE THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE –

- i) The Proposal to undertake the following proposed minor alterations to the existing buildings
- Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods
 - Create safe access to the attic plant room and roof with access ladder
 - Install a man-safe fall arrest roof system
 - Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building-
 - Refurbish the old store building, including replacement of the asbestos roof cladding

- Replacement of the roller shutter doors with energy efficient roller shutter doors.
- Replace existing windows with new Aluminum double glazed windows
- Replace existing roof covering to both outhouses on site
- Create 2no new fire exits, one to the North East gable wall, the other to the new rapid roll shutter door.

AND

- ii) The Proposal to install solar array to the Main Depot roof

IS Development

&

IS Exempted Development

WITHIN THE MEANING OF THE ABOVE ACT

The Planning Authority in considering this referral, had regard particularly to:

- (a) Section 2 (i), 3 (i), 177U (9) and Section 4 (1) (h) of the Planning & Development Act 2000 (as amended).
- (b) Articles 5(1), 6(1) and Class 56, of Part 1 of Schedule 2 of the Planning & Development Regulations, 2001(as amended)

And concluded that:

The proposal is development and is exempted development coming within the scope of Section 4 (1) (h) of the Planning & Development Act 2000 (as amended) and Class 56, of Part 1 of Schedule 2 of the Planning & Development Regulations, 2001(as amended)

Applicant is advised Development under Class 56 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) (e) which causes hazardous glint and/or glare shall not be exempted development and any solar photo-voltaic or solar thermal collector panels which are causing

hazardous glint and/or glare shall either be removed or be covered until such time as a mitigation plan to address the hazardous glint and/or glare is agreed and implemented to the satisfaction of the Planning Authority.

Applicant is further advised **from a Waste Management perspective** regarding the removal/disposal of asbestos of the requirement to contact the Waste Regulation Officer Donna Maskery in Donegal County Council, Environment Section prior to any works commencing.

Signed: *Donna Callaghan*
Position: Executive Planner
Date: 25/02/2026



Frank Sweeney
Senior Executive Planner
Community Development & Planning Services
26/02/2026

DONEGAL COUNTY COUNCIL

PLANNING AND DEVELOPMENT ACT, 2000 (AS AMENDED)

**Chief Executive
Order No:**

2026PH0552

Ref Number:

S526/13

Section 5:

Request received 5th February 2026 from Bus Éireann C/o David O'Callaghan, Architects Section, Iarnród Éireann, Network Enhancements Division of Capital Investments, Engineering & New Works Building, Inchicore, Dublin 8, D08 K6Y3 in relation to the following proposed alterations:

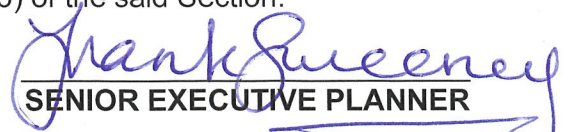
- Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods.
- Create safe access to the attic plant room and roof with access ladder.
- Install a man-safe fall arrest roof system.
- Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building.
- Refurbish the old store building, including replacement of the asbestos roof cladding.
- Replacement of the roller shutter doors with energy efficient roller shutter doors.
- Replace existing windows with new aluminium double glazed windows.
- Replace existing roof covering to both outhouses on site
- Create 2no new fire exits, one to the Northeast gable wall, the other to the new rapid roll shutter door.
- The Proposal to install solar array to the Main Depot roof
At Stranorlar Bus Depot, Railway Road, Stranorlar, Co. Donegal F93 YH74

Submitted:

Written request received 5th February 2026 as above and report dated 25th February 2026 from the Planner (Ref. No: S5 26/13 refers).

Order:

Having considered the said request, the report of the Planner, and the record forwarded to the Council by An Coimisiún Pleanála in compliance with Sub-Section 6(c) of the said Section I have concluded that a declaration on the questions in the said request should be made in the terms of that in the Schedule to this Order, the main reasons and considerations therefore being detailed therein. I therefore Order that the declaration issue to the said requester and the owners/occupiers of the land concerned and, further, that it be entered in the Council's Planning Register in compliance with Sub-Section (5) of the said Section.


SENIOR EXECUTIVE PLANNER

DATED THIS ^{27th} DAY OF FEBRUARY 2026



SCHEDULE

IT IS HEREBY DECLARED THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE

IS Development

IS Exempted Development

WITHIN THE MEANING OF THE ABOVE ACT

The Planning Authority in considering this referral, had regard particularly to:

- Section 2 (i), 3 (i), 177U (9) and Section 4 (1) (h) of the Planning & Development Act 2000 (as amended).
- Articles 5(1), 6(1) and Class 56, of Part 1 of Schedule 2 of the Planning & Development Regulations, 2001(as amended)

And concluded that:

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS EXEMPTED DEVELOPMENT** coming within the scope of Section 4 (1) (h) of the Planning & Development Act 2000 (as amended) and Class 56, of Part 1 of Schedule 2 of the Planning & Development Regulations, 2001(as amended).

Applicant is advised of the following:

Applicant is advised Development under Class 56 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) (e) which causes hazardous glint and/or glare shall not be exempted development and any solar photo-voltaic or solar thermal collector panels which are causing hazardous glint and/or glare shall either be removed or be covered until such time as a mitigation plan to address the hazardous glint and/or glare is agreed and implemented to the satisfaction of the Planning Authority.

Applicant is further advised from a Waste Management perspective regarding the removal/disposal of asbestos of the requirement to contact the Waste Regulation Officer Donna Maskery in Donegal County Council, Environment Section prior to any works commencing.

JS 27/02



**Comhairle Contae
Dhún na nGall**
Donegal County Council

Áras an Chontae,
Leifear,
Contae Dhún na nGall, F93 Y622

County House,
Lifford,
County Donegal, F93 Y622

T: 074 91 53900
E: info@donegalcoco.ie
W: www.donegalcoco.ie
W: www.ccdhunangall.ie

Planning Services
E: planning@donegalcoco.ie

Ref. No: S526/13

27th February 2026

BUS ÉIREANN
C/O DAVID O'CALLAGHAN
ARCHITECTS SECTION
IARNRÓD ÉIREANN
NETWORK ENHANCEMENTS DIVISIONS OF CAPITAL INVESTMENTS
ENGINEERING & NEW WORKS BUILDING
INCHICORE
DUBLIN 8
D08 K6Y3

Re: The following proposed alterations:

- Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods.
 - Create safe access to the attic plant room and roof with access ladder.
 - Install a man-safe fall arrest roof system.
 - Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building.
 - Refurbish the old store building, including replacement of the asbestos roof cladding.
 - Replacement of the roller shutter doors with energy efficient roller shutter doors.
 - Replace existing windows with new aluminium double glazed windows.
 - Replace existing roof covering to both outhouses on site
 - Create 2no new fire exits, one to the Northeast gable wall, the other to the new rapid roll shutter door.
 - The Proposal to install solar array to the Main Depot roof
- At Stranorlar Bus Depot, Railway Road, Stranorlar, Co. Donegal F93 YH74

A Chara,

I refer to your request received on 5th February 2026 under Section 5 of the Planning and Development Act, 2000 (as amended). Same has now been decided and I now issue to you herewith the Council's Declaration thereon. You are now advised that, in accordance with Section 5 (3) (a) of the Planning & Development Act, 2000 (as amended) where a Declaration is issued, any person issued with such a Declaration may, on payment to An Coimisiún Pleanála of such fee as may be prescribed, refer a Declaration for review by the Commission within 4 weeks of the date of issuing of the Declaration.

Mise, le meas,

**For Senior Executive Planner
Planning Services**

/jmcc

Planning and Development Acts, 2000 (as amended)

(Declaration and Referral on Development and Exempted Development)

DECLARATION

Chief Executive Order No: 2026PH0552

Reference No: S526/13

Name of Requester: BUS ÉIREANN
C/O DAVID O'CALLAGHAN
ARCHITECTS SECTION
IARNRÓD ÉIREANN
NETWORK ENHANCEMENTS DIVISIONS OF CAPITAL
INVESTMENTS
ENGINEERING & NEW WORKS BUILDING
INCHICORE
DUBLIN 8
D08 K6Y3

Summarised Description of development the subject matter of request:

The following proposed alterations:

- Replace the roof cladding to both the Main Depot and stores Building on site, including all rainwater goods.
- Create safe access to the attic plant room and roof with access ladder.
- Install a man-safe fall arrest roof system.
- Improve the overall energy performance of the building by fitting externally clad insulation to the administration part of the Main Depot Building.
- Refurbish the old store building, including replacement of the asbestos roof cladding.
- Replacement of the roller shutter doors with energy efficient roller shutter doors.
- Replace existing windows with new aluminium double glazed windows.
- Replace existing roof covering to both outhouses on site
- Create 2no new fire exits, one to the Northeast gable wall, the other to the new rapid roll shutter door.
- The Proposal to install solar array to the Main Depot roof

Location: Stranorlar Bus Depot, Railway Road, Stranorlar, Co. Donegal F93 YH74

IT IS HEREBY DECLARED THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE

IS Development

IS Exempted Development

WITHIN THE MEANING OF THE ABOVE ACT

The Planning Authority in considering this referral, had regard particularly to:

- Section 2 (i), 3 (i), 177U (9) and Section 4 (1) (h) of the Planning & Development Act 2000 (as amended).

- Articles 5(1), 6(1) and Class 56, of Part 1 of Schedule 2 of the Planning & Development Regulations, 2001(as amended)

And concluded that:

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS EXEMPTED DEVELOPMENT** coming within the scope of Section 4 (1) (h) of the Planning & Development Act 2000 (as amended) and Class 56, of Part 1 of Schedule 2 of the Planning & Development Regulations, 2001(as amended).

Applicant is advised of the following:

Applicant is advised Development under Class 56 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) (e) which causes hazardous glint and/or glare shall not be exempted development and any solar photo-voltaic or solar thermal collector panels which are causing hazardous glint and/or glare shall either be removed or be covered until such time as a mitigation plan to address the hazardous glint and/or glare is agreed and implemented to the satisfaction of the Planning Authority.

Applicant is further advised from a Waste Management perspective regarding the removal/disposal of asbestos of the requirement to contact the Waste Regulation Officer Donna Maskery in Donegal County Council, Environment Section prior to any works commencing.



**For Senior Executive Planner
Planning Services**

Dated this 27th day of February 2026