

**Fw: Section 5 Application - 4 The Steeples, Ramelton, Co. Donegal.**

**From** LYNSEY MCGLYNN <LMCGLYNN@Donegalcoco.ie>

**Date** Fri 2025-12-19 09:39

**To** LYNSEY MCGLYNN <LMCGLYNN@Donegalcoco.ie>

📎 12 attachments (2 MB)

Section 5 Application Form.pdf; 2503-10 Site Location Map.pdf; 2503-11 Site Layout Plan.pdf; 2503-01 Existing Ground Floor Plan.pdf; 2503-02 Existing First Floor Plan.pdf; 2503-03 Ground Floor Enabling Works.pdf; 2503-04 First Floor Enabling Works.pdf; 2503-05 Proposed Ground Floor Plan.pdf; 2503-06 Proposed First Floor Plan.pdf; 2503-07 Proposed Roof Plan.pdf; 2503-08 Existing Elevations.pdf; 2503-09 Proposed Elevations.pdf;

**From:** Martin Keenan <[REDACTED]>

**Sent:** 18 December 2025 15:52

**To:** planning mailbox <Planning@Donegalcoco.ie>

**Subject:** Section 5 Application - 4 The Steeples, Ramelton, Co. Donegal.

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Hi there,

I wish to apply for a Section 5 exempted development declaration for proposed conversion of an existing attached garage to a proposed bedroom plus associated works including new front window and blocking up of an existing window to the side elevation at 4 The Steeples, Ramelton, Co. Donegal.

I am currently in the process of purchasing the property and have applied for the vacant home grant. The accessor reviewing the vacant home grant application has asked that I apply for a Section 5 exemption for the proposed works.

I have paid the prescribed fee of €80 for the Section 5 Application by credit card. The payment receipt reference number is 666895.

As part of the Section 5 application, please find the following attached:

1. Completed Section 5 Application Form
2. Site Location Map
3. Site layout Plan
4. Existing Plans
5. Enabling works
6. Proposed plans
7. Existing elevations
8. Proposed elevations

If you require any further information, please do not hesitate to contact me.

Regards,

Martin Keenan  
[REDACTED]



## SECTION 5 APPLICATION

FOR DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT

Completed application form & supporting documentation to be returned to the Planning Authority **by email** to [planning@donegalcoco.ie](mailto:planning@donegalcoco.ie)

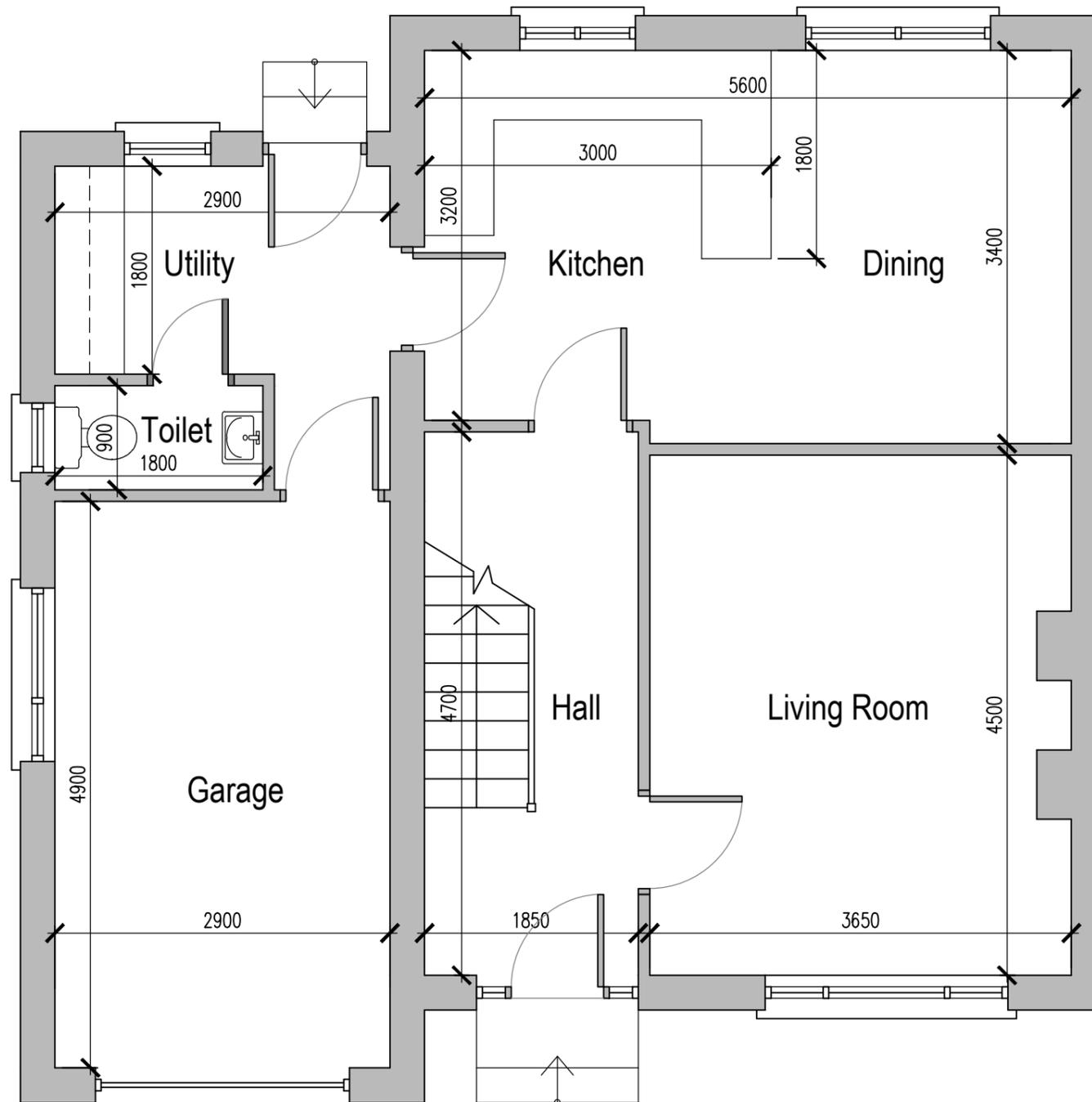
<b>Name of Applicant(s):</b>	MARTIN KEENAN
<b>Agent Name:</b> (if applicable)	
<b>Location of Proposed Development / Works:</b> (Townland or postal address as appropriate and Eircode if available)	4 THE STEEPLES, RAMELTON, CO. DONEGAL, F92 PD86.
<b>Description of Proposed Development including details of works (where applicable):</b> (Only works listed below will be assessed under this section 5 application)	
PROPOSED CONVERSION OF EXISTING ATTACHED GARAGE TO PROPSOED BEDROOM PLUS ASSOCIATED WORKS, INCLUDING NEW FRONT WINDOW AND BLOCKING UP OF EXISTING WINDOW OPE TO SIDE ELEVATION.  NOTE - WE ARE APPLYING FOR A SECTION 5 DECLARATION AS PART OF THE VACANT GRANT APPLICATION CURRENTLY SUBMITTED.	



**Comhairle Contae  
Dhún na nGall**  
Donegal County Council

<b>Is the development a Protected Structure or within the curtilage of a Protected Structure?</b>	<b>Yes</b>	<b>No</b>
		X
<b>Has a declaration under Section 57 of the Planning and Development Act 2000 (as amended) been requested or issued in respect of the property.</b>	<b>Yes</b>	<b>No</b>
		X
<b>Applicant(s) Interest in the site:</b>	CURRENTLY IN THE PROCESS OF PURCHASING THE PROPERTY & APPLYING FOR VACANT HOME GRANT.	
<b>If not the Owner of the site, please provide the name of the Landowner:</b>	IAN JOHNSTON (LPR of Jean Kerr, Deceased)	
<b>Please list types of plans, drawings etc. submitted with this application:</b>	SITE LOCATION MAP, SITE LAYOUT PLAN, EXISTING PLANS, ENABLING WORKS, PROPOSED PLANS, EXISTING ELEVATIONS, PROPOSED ELEVATIONS.	
<b>Planning History - list any relevant planning application reference numbers:</b>	95/1249	
<b>Are you aware of any enforcement proceedings connected to the site? If so, please supply details:</b>	NO	

<b>I hereby certify that the information provided is true and accurate</b>	
<b>Signature of Applicant/Agent:</b>	<i>Martin Keenan</i>
<b>Date:</b>	18 / 12 / 2025

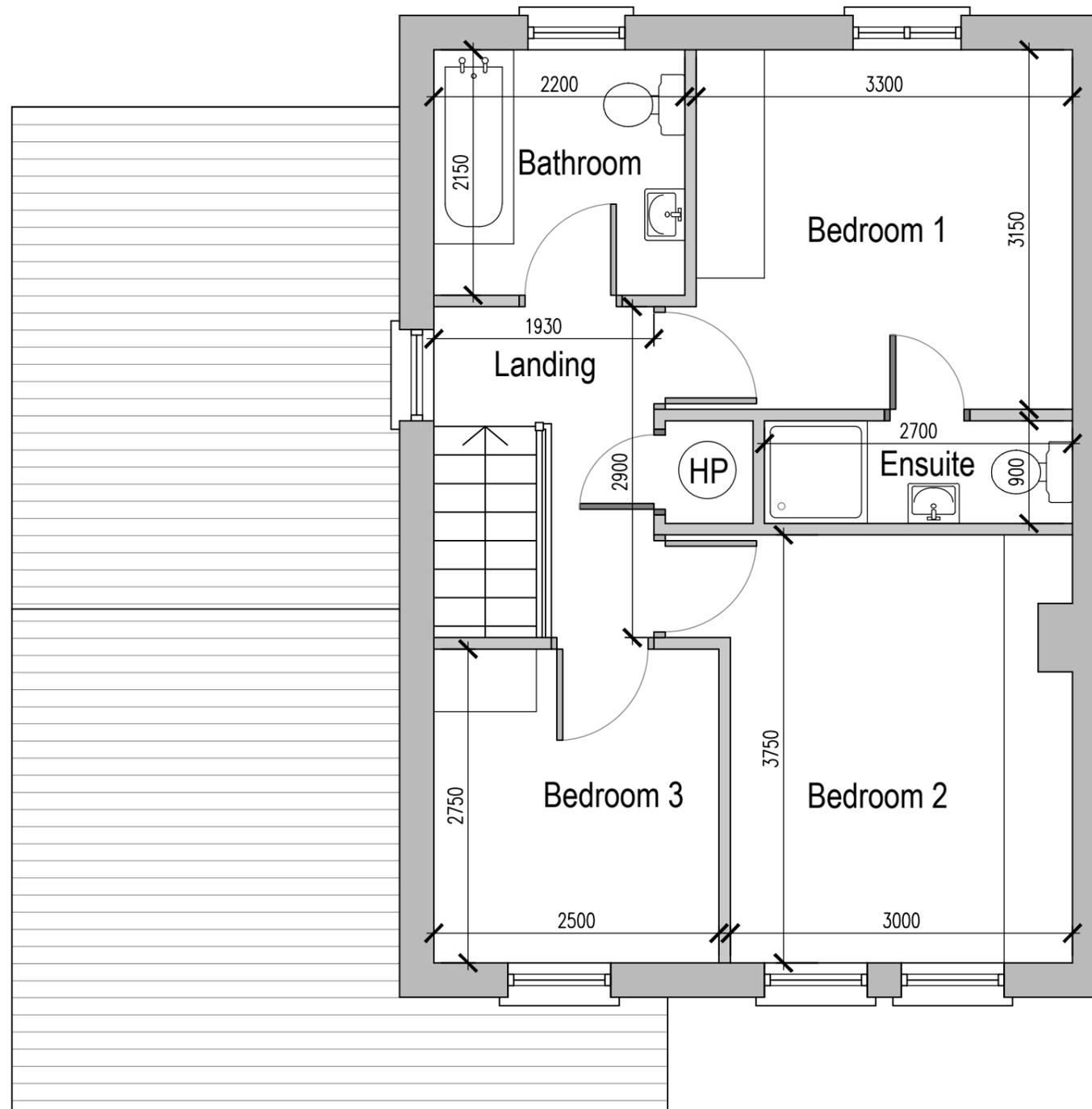


**EXISTING GROUND FLOOR PLAN**  
 Area = 69.5m<sup>2</sup> / 748 Sq. Ft.

**SECTION 5 APPLICATION**

CLIENT: MARTIN KEENAN						
PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL						
DRAWING: EXISTING GROUND FLOOR PLAN						
DRAWING NO. <b>2503-01</b>	REVISION	SCALE <b>1:50(A3)</b>	DATE DEC. 2025	STATUS SECTION_5_APP	DRAWN BY M.KEENAN	PLOT DATE: 12/12/2025

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**EXISTING FIRST FLOOR PLAN**

Area = 44.8m<sup>2</sup> / 482 Sq. Ft.

Total Floor Area = 114.3m<sup>2</sup> / 1230 Sq. Ft.

**SECTION 5 APPLICATION**

CLIENT: MARTIN KEENAN

PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL

DRAWING: EXISTING FIRST FLOOR PLAN

DRAWING NO.  
**2503-02**

REVISION

SCALE  
**1:50(A3)**

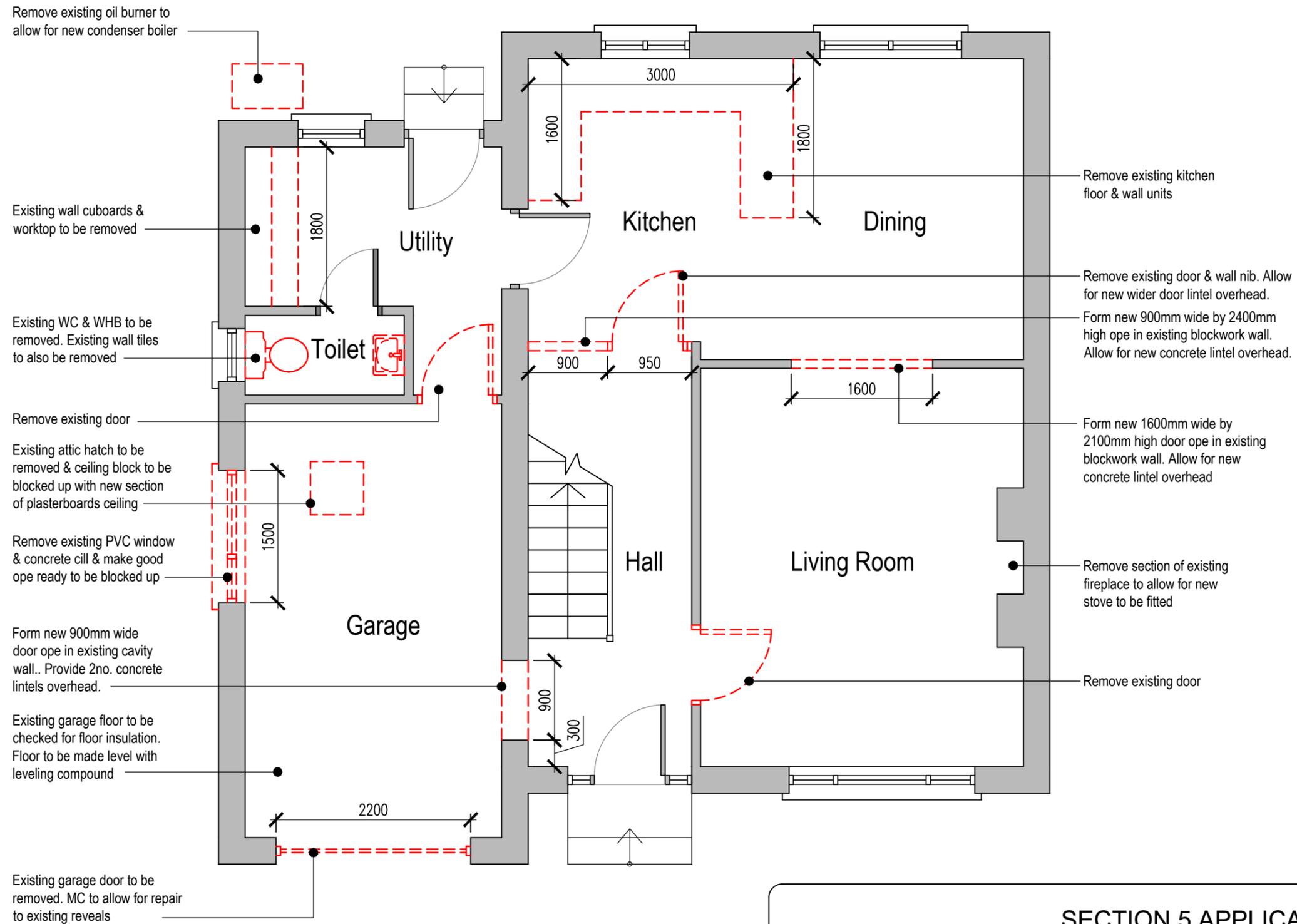
DATE  
**DEC. 2025**

STATUS  
**SECTION\_5\_APP**

DRAWN BY  
**M.KEENAN**

PLOT DATE:  
**12/12/2025**

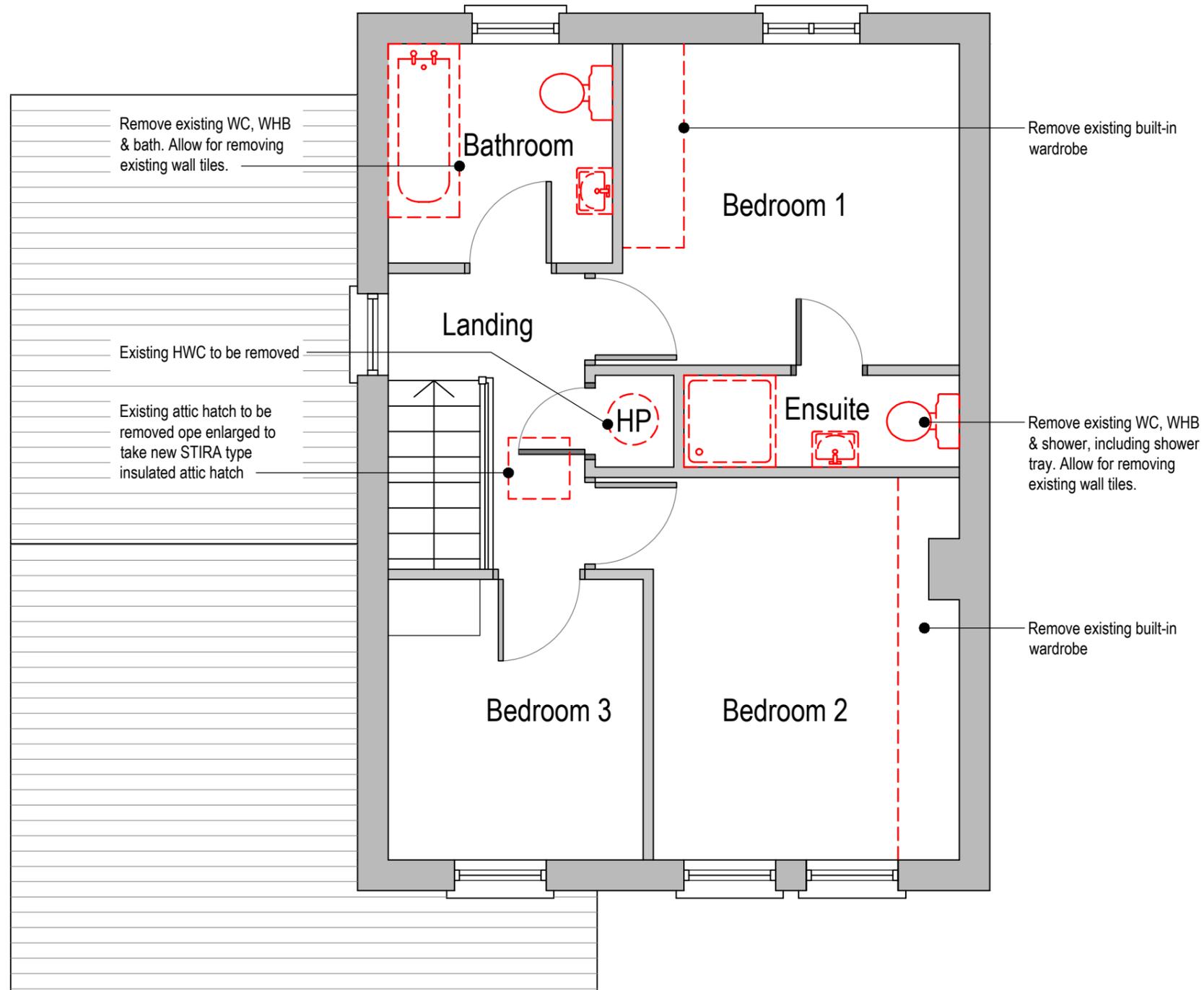
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**GROUND FLOOR PLAN  
PROPOSED ENABLING WORKS**

**SECTION 5 APPLICATION**

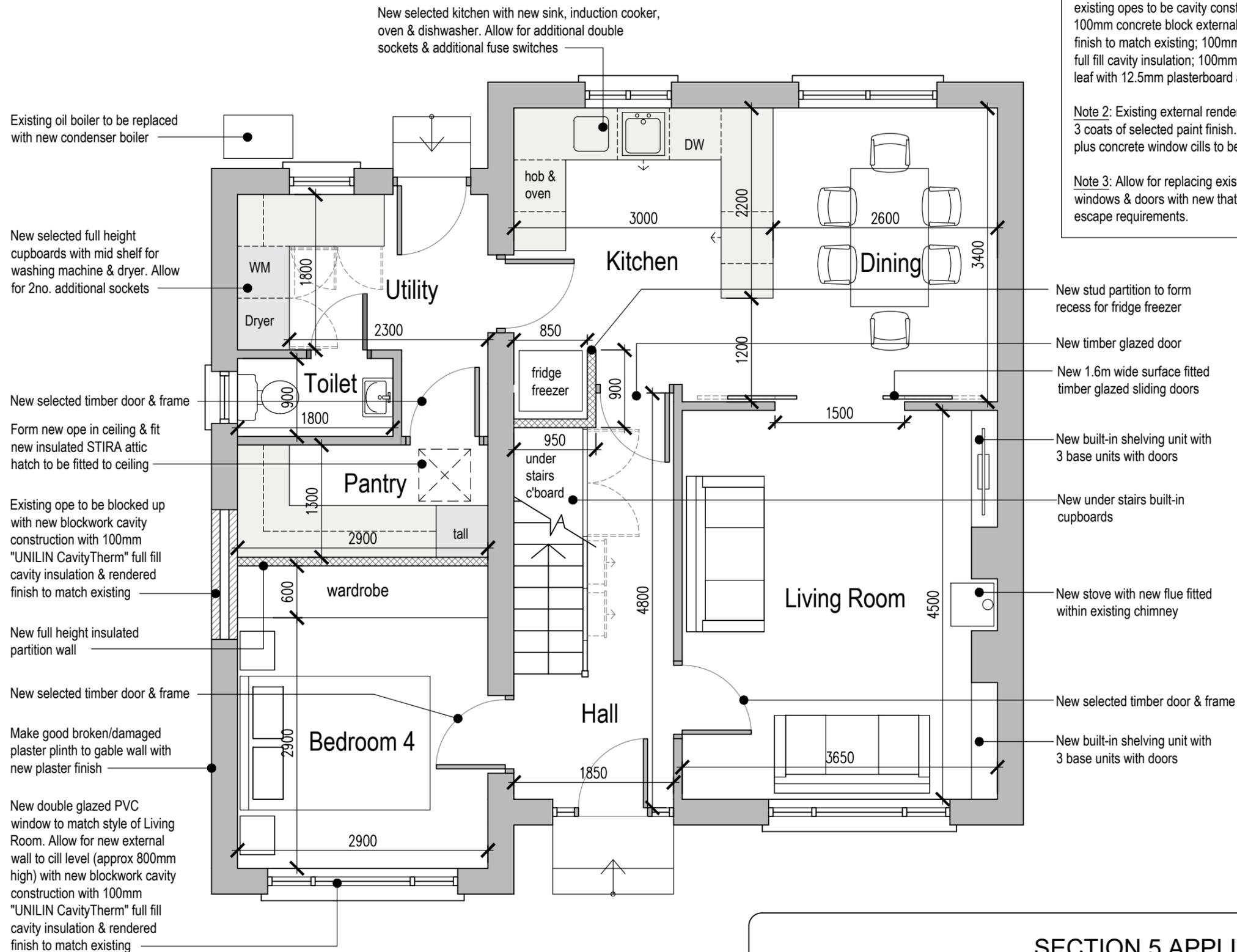
CLIENT: MARTIN KEENAN						
PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL						
DRAWING: PROPOSED GROUND FLOOR ENABLING WORKS						
DRAWING NO. <b>2503-03</b>	REVISION	SCALE <b>1:50(A3)</b>	DATE DEC. 2025	STATUS SECTION_5_APP	DRAWN BY M.KEENAN	PLOT DATE: 12/12/2025
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**FIRST FLOOR PLAN  
PROPOSED ENABLING WORKS**

**SECTION 5 APPLICATION**

CLIENT: MARTIN KEENAN						
PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL						
DRAWING: PROPOSED FIRST FLOOR ENABLING WORKS						
DRAWING NO. <b>2503-04</b>	REVISION	SCALE <b>1:50(A3)</b>	DATE <b>DEC. 2025</b>	STATUS <b>SECTION_5_APP</b>	DRAWN BY <b>M.KEENAN</b>	PLOT DATE: <b>12/12/2025</b>
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**Note 1:** Sections of new external walls blocking up existing opes to be cavity construction, consisting of 100mm concrete block external leaf with rendered finish to match existing; 100mm "UNILIN CavityTherm" full fill cavity insulation; 100mm concrete block internal leaf with 12.5mm plasterboard and skim finish.

**Note 2:** Existing external rendered walls to be painted 3 coats of selected paint finish. Window & door reveals plus concrete window cills to be included.

**Note 3:** Allow for replacing existing double glazed windows & doors with new that comply to current fire escape requirements.

- New stud partition to form recess for fridge freezer
- New timber glazed door
- New 1.6m wide surface fitted timber glazed sliding doors
- New built-in shelving unit with 3 base units with doors
- New under stairs built-in cupboards
- New stove with new flue fitted within existing chimney
- New selected timber door & frame
- New built-in shelving unit with 3 base units with doors

**PROPOSED GROUND FLOOR PLAN**



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Donegal County Council

**Planning Services**

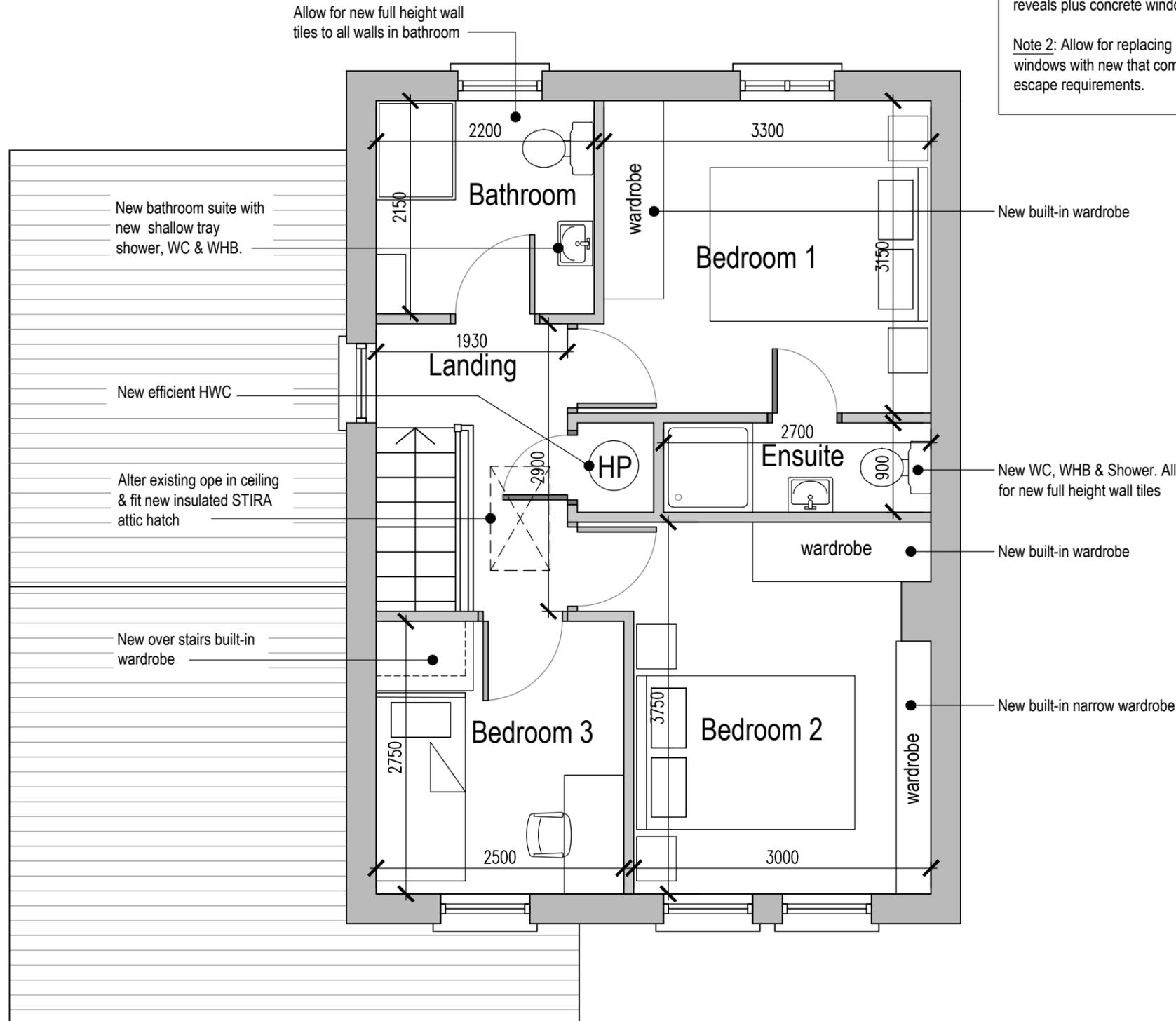
**RECEIVED DATE: 18/12/2025**

**SECTION 5 APPLICATION**

CLIENT: MARTIN KEENAN		PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL		DRAWING: PROPOSED GROUND FLOOR PLAN	
DRAWING NO. <b>2503-05</b>	REVISION	SCALE <b>1:50(A3)</b>	DATE <b>DEC. 2025</b>	STATUS <b>SECTION_5_APP</b>	DRAWN BY <b>M.KEENAN</b>
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**Note 1:** Existing external rendered walls to be painted 3 coats of selected paint finish. Window reveals plus concrete window cills to be included.

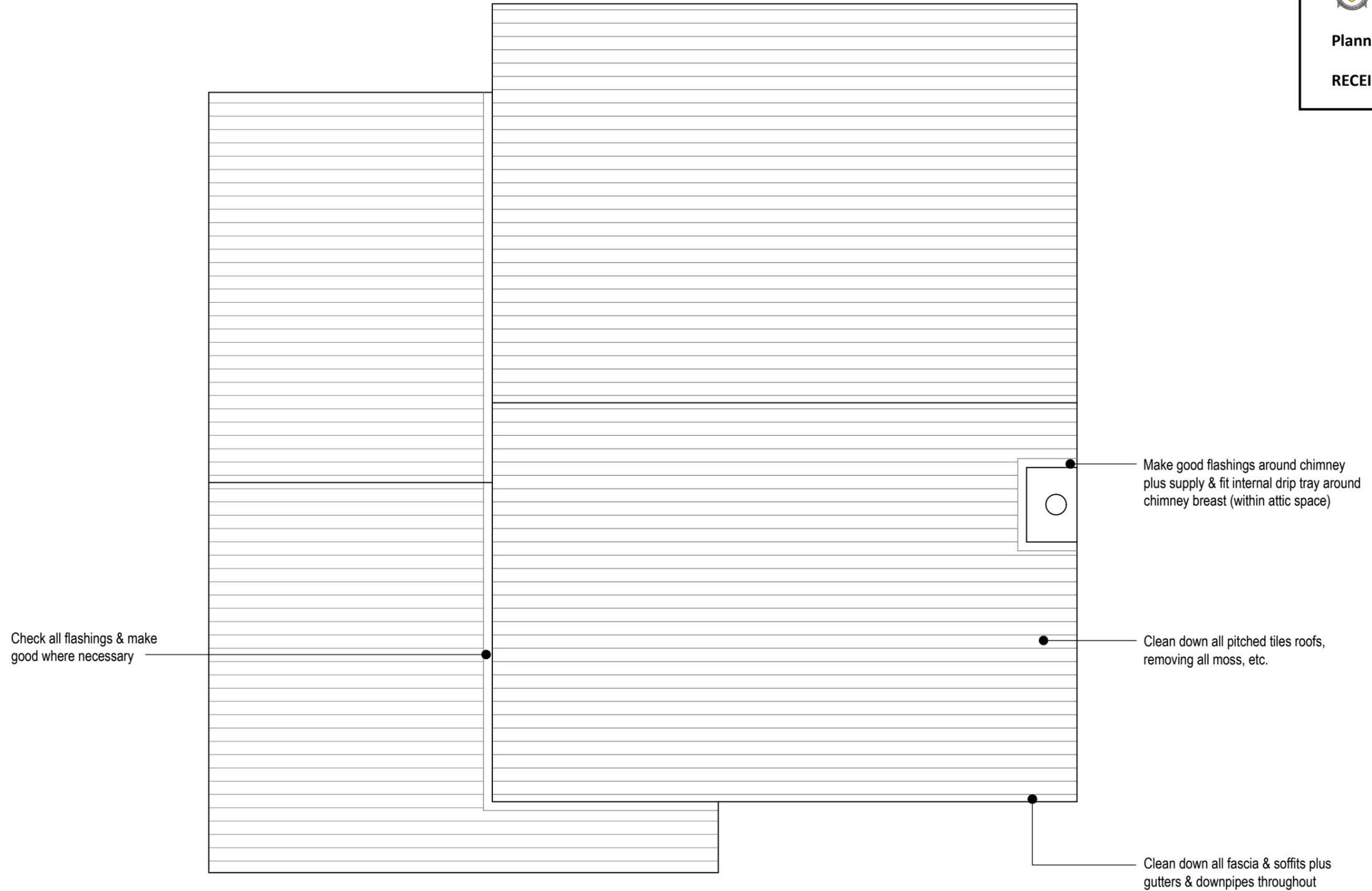
**Note 2:** Allow for replacing existing double glazed windows with new that comply to current fire escape requirements.



**PROPOSED FIRST FLOOR PLAN**

**SECTION 5 APPLICATION**

CLIENT: MARTIN KEENAN		PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL		DRAWING: PROPOSED FIRST FLOOR PLAN	
DRAWING NO. <b>2503-06</b>	REVISION	SCALE <b>1:50(A3)</b>	DATE <b>DEC. 2025</b>	STATUS <b>SECTION_5_APP</b>	DRAWN BY <b>M.KEENAN</b>
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PROPOSED ROOF PLAN

**SECTION 5 APPLICATION**

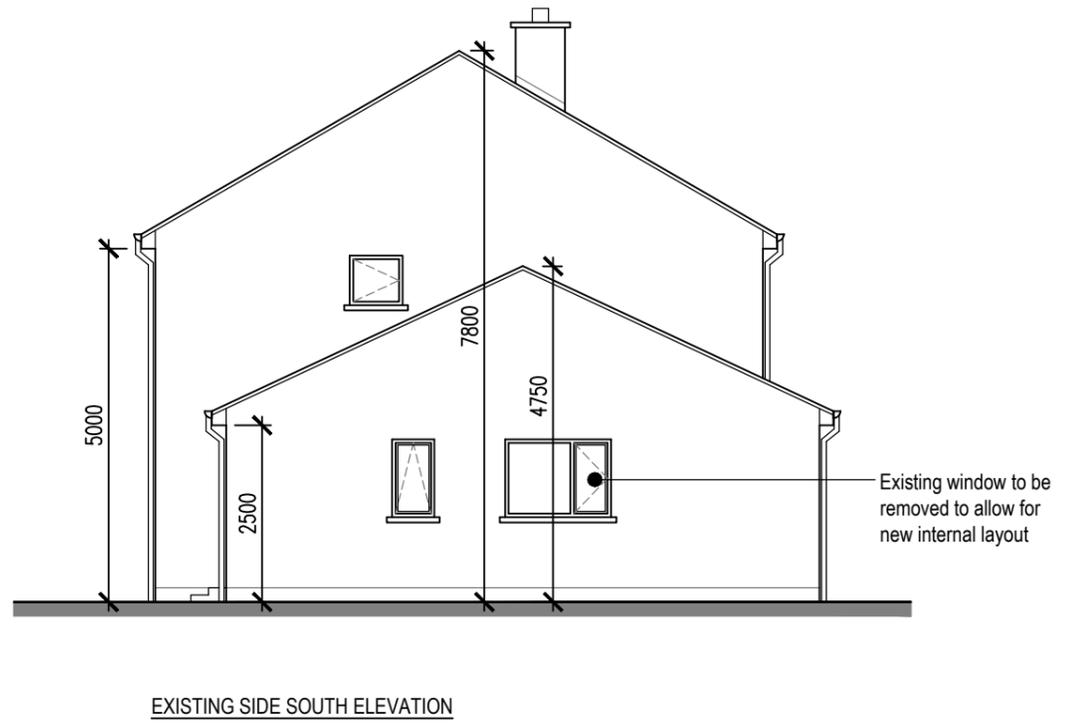
CLIENT: MARTIN KEENAN

PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL

DRAWING: PROPOSED ROOF PLAN

DRAWING NO. <b>2503-07</b>	REVISION	SCALE <b>1:50(A3)</b>	DATE <b>DEC. 2025</b>	STATUS <b>SECTION_5_APP</b>	DRAWN BY <b>M.KEENAN</b>	PLOT DATE: <b>12/12/2025</b>
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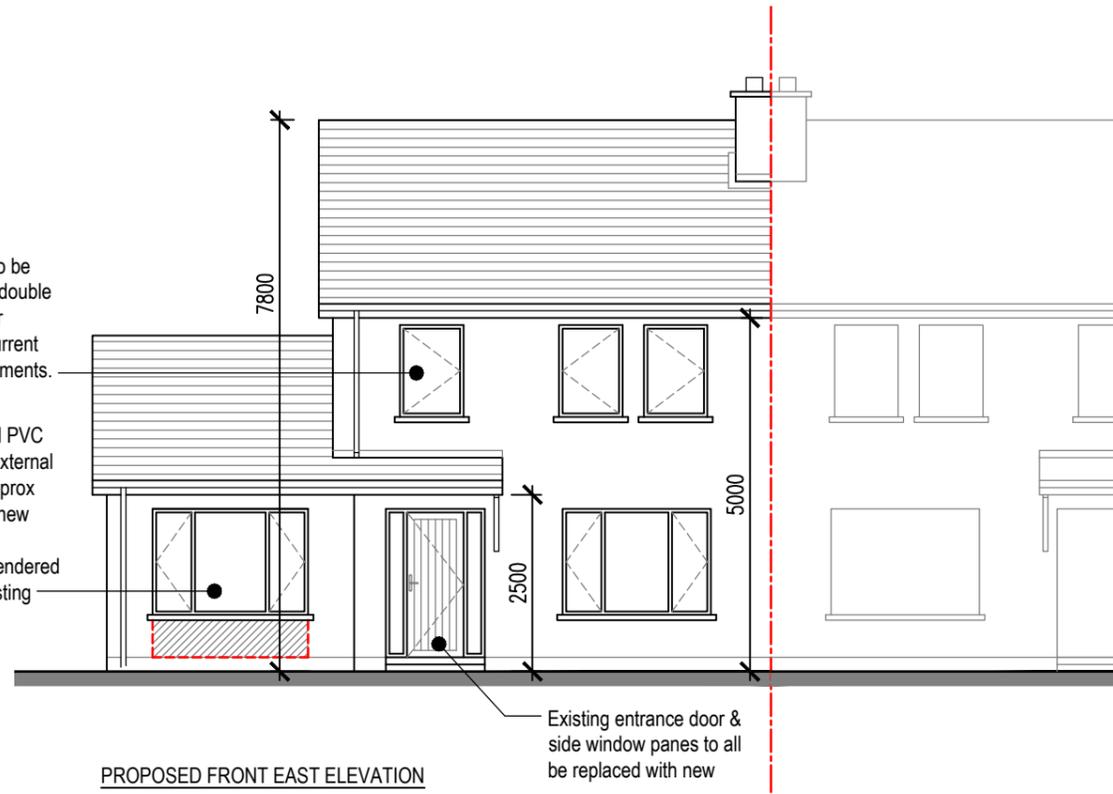
Planning Services

RECEIVED DATE: 18/12/2025

SECTION 5 APPLICATION						
CLIENT: MARTIN KEENAN						
PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL						
DRAWING: EXISTING ELEVATIONS						
DRAWING NO. <b>2503-08</b>	REVISION	SCALE <b>1:100(A3)</b>	DATE DEC. 2025	STATUS SECTION_5_APP	DRAWN BY M.KEENAN	PLOT DATE: 12/12/2025
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Existing windows to be replaced with new double glazed windows for compliance with current fire escape requirements.

New double glazed PVC window with new external wall to cill level (approx 800mm high) with new blockwork cavity construction with rendered finish to match existing



PROPOSED FRONT EAST ELEVATION

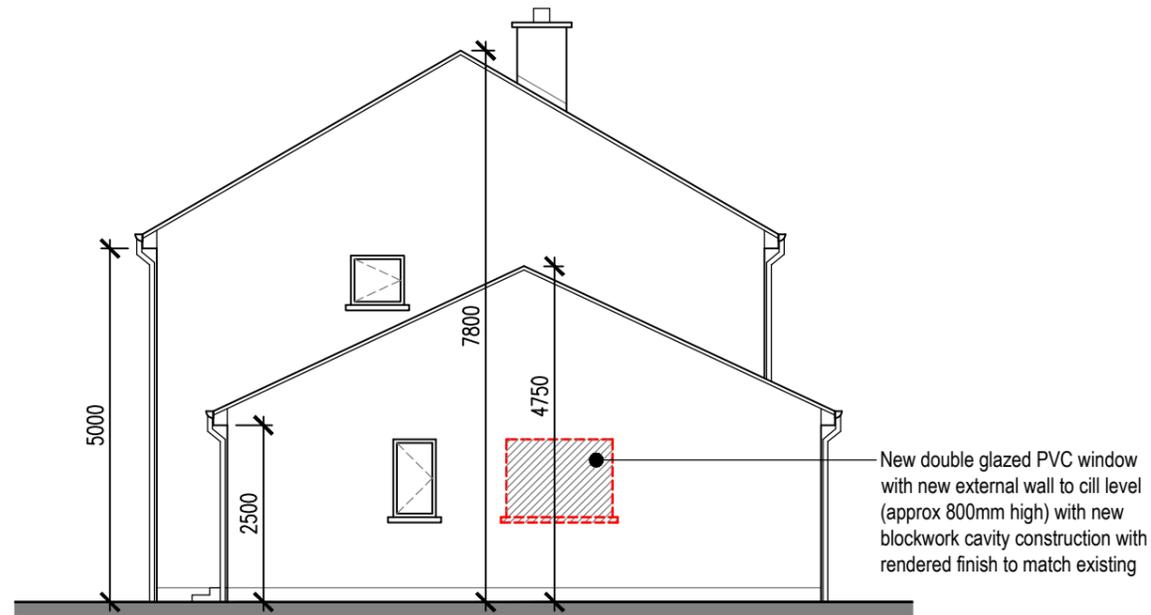
Existing entrance door & side window panes to all be replaced with new



PROPOSED REAR WEST ELEVATION

Existing windows to be replaced with new double glazed windows for compliance with current fire escape requirements.

Existing entrance door & side window panes to all be replaced with new



PROPOSED SIDE SOUTH ELEVATION

New double glazed PVC window with new external wall to cill level (approx 800mm high) with new blockwork cavity construction with rendered finish to match existing



Planning Services

RECEIVED DATE: 18/12/2025

## SECTION 5 APPLICATION

CLIENT: MARTIN KEENAN

PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL

DRAWING: PROPOSED ELEVATIONS

DRAWING NO.  
2503-09

REVISION

SCALE  
1:100(A3)

DATE  
DEC. 2025

STATUS  
SECTION\_5\_APP

DRAWN BY  
M.KEENAN

PLOT DATE:  
12/12/2025

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Description:  
Digital Landscape Model (DLM)

Publisher / Source:  
Tailte Éireann

Data Source / Reference: PRIME2

Clip Extent / Area of Interest (AOI):  
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LRX,LRY= 622778.5982,920720.9997  
ULX,ULY= 622545.5982,920892.9997  
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Projection / Spatial Reference:  
Projection= IREN95\_Irish\_Transverse\_Mercator

Centre Point Coordinates:  
X,Y= 622662.0982,920806.9997

Reference Index:  
Map Series | Map Sheets  
1:2,500 | 0211-B

Data Extraction Date: Date= 06-Nov-2025

Source Data Release: DCMLS Release V1.192.121

Product Version: Version= 1.4

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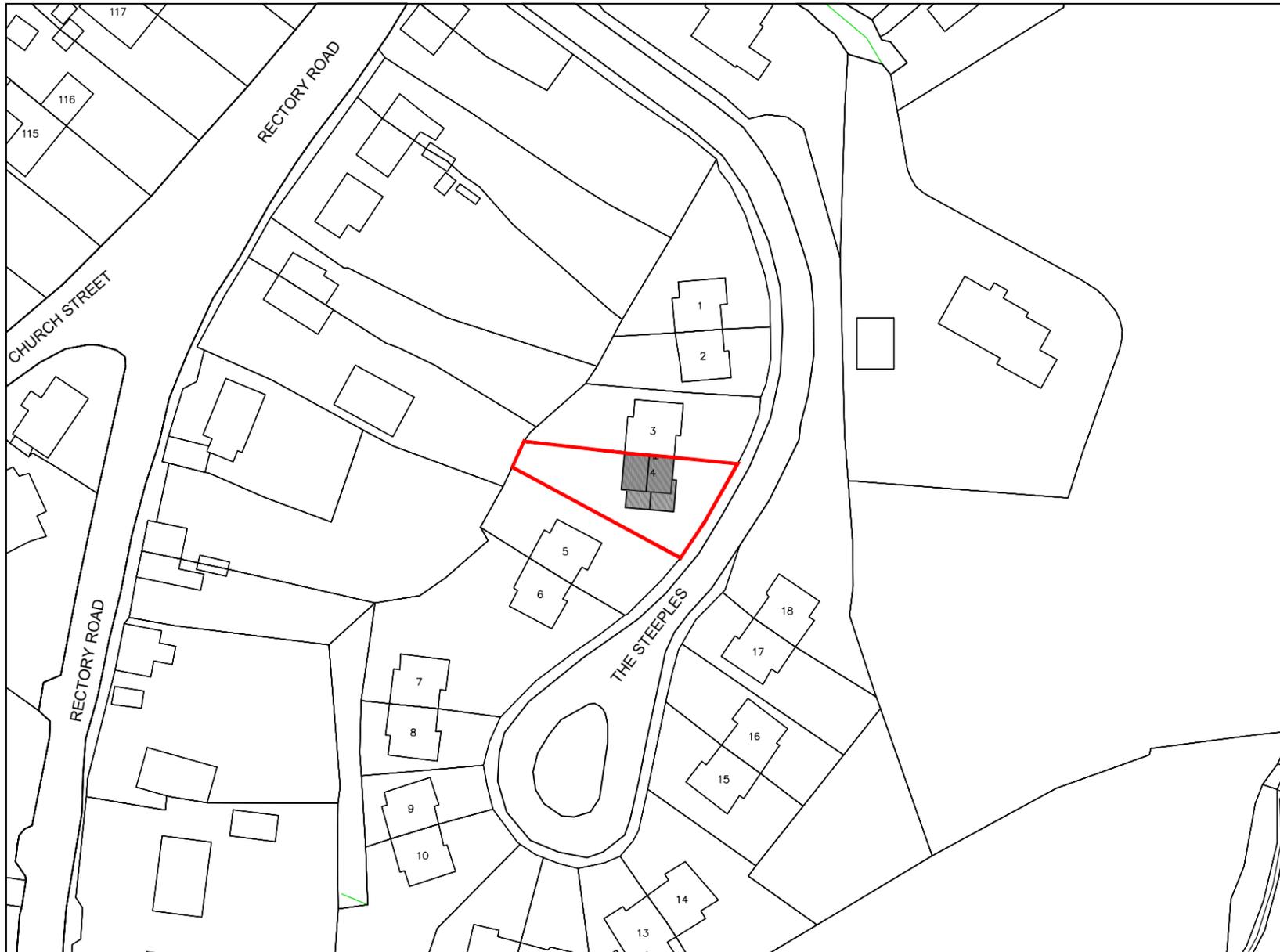
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### SITE LOCATION MAP

SCALE 1:1000

#### LEGEND:

 Indicates extent of site  
Site Area = 438m<sup>2</sup> / 4715 sq. ft. / 0.0438 Ha / 0.108 Acres



### SECTION 5 APPLICATION

CLIENT: MARTIN KEENAN						
PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL						
DRAWING: SITE LOCATION MAP						
DRAWING NO. <b>2503-10</b>	REVISION	SCALE <b>1:1000(A3)</b>	DATE <b>DEC. 2025</b>	STATUS <b>SECTION_5_APP</b>	DRAWN BY <b>M.KEENAN</b>	PLOT DATE: <b>12/12/2025</b>
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Planning Services

RECEIVED DATE: 18/12/2025



### SITE LAYOUT PLAN

SCALE 1:500

#### LEGEND:

 Indicates extent of site  
Site Area = 438m<sup>2</sup> / 4715 sq. ft. / 0.0438 Ha / 0.108 Acres

### SECTION 5 APPLICATION

CLIENT: MARTIN KEENAN						
PROJECT: 4 THE STEEPLES, RAMELTON, CO. DONEGAL						
DRAWING: SITE LAYOUT PLAN						
DRAWING NO. 2503-11	REVISION	SCALE 1:500(A3)	DATE DEC. 2025	STATUS SECTION_5_APP	DRAWN BY M.KEENAN	PLOT DATE: 12/12/2025
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**Comhairle Contae  
Dhún na nGall**  
Donegal County Council

Áras an Chontae,  
Leifear,  
Contae Dhún na nGall, F93 Y622

County House,  
Lifford,  
County Donegal, F93 Y622

**T:** 074 91 53900  
**E:** info@donegalcoco.ie  
**W:** www.donegalcoco.ie  
**W:** www.ccdhunnangall.ie

**Planning Services**  
**E:** planning@donegalcoco.ie

Sent via E-mail: [REDACTED]

Our Ref: S525/109

18 December 2025

Martin Keenan

**Re: Section 5 - Conversion of existing attached garage to proposed bedroom plus associated works, including new front window and blocking up of existing window open to side elevation.**

A Chara,

I wish to acknowledge receipt of your application received on 18<sup>th</sup> December 2025 in relation to the above.

Yours sincerely,

Donegal County Council  
Planning Services



## **SECTION 5 REFERRAL REPORT – Ref. No: S5 25/109**

### **1.0 BACKGROUND**

#### **1.1 Location:**

4 The Steeples, Ramelton, Co. Donegal F92 PD86.

#### **1.2 Site Description:**

The site is occupied by an existing 2 storey semi-detached dwelling house and is located within the settlement of Ramelton.



#### **1.3 Planning History**

<b>Year</b>	<b>Number</b>	<b>Decision</b>	<b>Development Address</b>	<b>Description</b>
<a href="#">96</a>	<a href="#">1636</a>	Conditional	RAMELTON	ERECTION OF 5 NO. ADDITIONAL DWELLINGS ON MODIFIED LAYOUT ON APPROVED SITE
<a href="#">95</a>	<a href="#">1249</a>	Conditional	RAMELTON	ERECTION OF 14 NO. TWO-STOREY DWELLING HOUSES AND ASSOCIATED SITE WORKS

### **2.0. THE QUESTION**

The applicant Martin Keenan, has made a submission to Donegal County Council requesting that a Declaration be made under Section 5 of the Planning and Development Act, 2000 (as amended) as to whether or not the following is exempt from planning permission

- (i) Conversion of existing attached garage to proposed bedroom plus associated works, including new front window and blocking up of existing window opening to side elevation

### 3.0 **EVALUATION**

#### 3.1 **Planning and Development Act, 2000 (as amended)**

##### **Section 2(1)**

In this Act, except where the context otherwise requires –

“**Structure**” means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so define, and

- (a) Where the context so admits, includes the land on, in or under which the structure is situate...

“**works**” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal....

##### **Section 3(1)**

“**Development**” in this Act means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

##### **Section 4(2)(a)**

The Minister may by **regulations** provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that –

- (i) “by reason of the size, nature, or limited effect on its surroundings.....”  
(ii) “the development is authorised, or is required to be authorised, by or under any enactment....”

##### **Section 4(2)(b)**

“**Regulations** under paragraph (a) maybe subject to conditions and be of general application or apply to such area or place as may be specified in the regulations.”

##### **Section 4(2)(c)**

“**Regulations** under this subsection may, in particular and without prejudice to the generality of paragraph (a) provide, in the case of structures or other land used for a purpose of any specified class, for the use thereof for any other purposes being exempted development for the purposes of this Act”.

##### **Section 177U(9)**

“In deciding upon a declaration for the purposes of Section 5 of this Act a planning authority or the Board, as the case maybe, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this Section.”

### **3.2 Planning and Development Regulations, 2001 (as amended)**

#### **Article 6(1)**

Subject to Article 9, development of class specified in Column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in Column 2 of the said Part 1 opposite the mention of that class in the said column 1.

#### **Article 9(1)**

Development to which article 6 relates shall not be exempted development for the purposes of the Act –

- (a) if the carrying out of such development would -

Sub-paragraphs (i) – (xii) (inclusive)

#### **Class 1 of Part 1 of Schedule 2** (*Exempted Development – General*) (*Development within the curtilage of a dwellinghouse*)

The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.

#### **Conditions and Limitations:**

- 1(a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.
- (b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.
- (c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.
- 2(a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.
- (b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area

of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.

- (c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.
3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.
- 4 (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.
- (b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.
- (c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.
5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.
- 6(a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.
- (b) Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.
- (c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.
7. The roof of any extension shall not be used as a balcony or roof garden.

## **4.0 ASSESSMENT**

### **4.1 Is or is not development**

- Development is defined under Section 3(1) of the Planning and Development Act, 2000 as 'the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land'. Works is defined under Section 2(1) of the Act

“...includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal...”

- The conversion of the garage to use as part of the house would involve the alteration of the garage and the extension of the house which would constitute development under the above provisions of the Act.

#### **4.2 Is or is not exempted development**

- The conversion of the attached garage (14.21m<sup>2</sup> of floorspace) to use as part of the house and associated works are considered to come within the scope of Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended).
  - The extension does not exceed 40sqm and the garage is attached to the side of the house.
  - A minimum area of garden space of at least 25sqm is retained.
  - The new ground floor front window is more than 1m from the boundary it faces
- The conversion of the attached garage can be considered to be exempted development by virtue of this section

#### **5.0 AA SCREENING**

- Consideration has also been given to the proximity to the site to any Natura 2000 sites, the closest being the Lough Swilly SAC/SPA located 360m away. Having regard to the scale and nature of the proposed development on, alongside the physical distances from the nearest Natura 2000 site, and no known direct hydrological links, it is not considered that the proposed development would be likely to have any significant effect, individually or in combination with any other plan or project, and it is considered that Screening for Appropriate Assessment is not required in this instance.

#### **6.0 RECOMMENDATION**

IT IS HEREBY RECOMMENDED THAT A DECLARATION BE MADE THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE –

**IS Development**

&

**IS Exempted Development**

**WITHIN THE MEANING OF THE ABOVE ACT**

**The proposal:**

Proposed conversion of existing attached garage to proposed bedroom plus associated works, including new front window and blocking up of existing window opening to side elevation.

**The Planning Authority in considering this referral, had regard particularly to:**

Section 2, 3, and 177U of the Planning and Development Act, 2000 (as amended) and Articles 6(3), 9(1) and Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended).

**And concluded that:**

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS EXEMPTED DEVELOPMENT** as it comes within the scope of Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) and complies with relevant limitations to the Class exemptions.

**Signed:** 

**Position:** Assistant Planner

**Date:** 20<sup>th</sup> January 2026



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Frank Sweeney  
Senior Executive Planner  
Community Development & Planning Services  
21/01/2026

**Chief Executive's Order No: 2026PH0192**

**Planning and Development Acts 2000 (as amended)**

**SECTION 5:-**

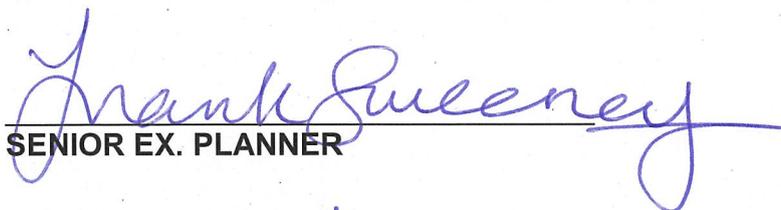
Request received 18<sup>th</sup> December 2025 from Martin Keenan, [REDACTED] F92 KR04 in relation to the conversion of existing attached garage to proposed bedroom plus associated works including new front window and blocking up of existing window opening to side elevation at 4 The Steeples, Ramelton, Letterkenny, Co. Donegal, F92 PD86.

**SUBMITTED:-**

Written request received 18<sup>th</sup> December 2025 as above and report dated 20<sup>th</sup> January 2026 from the Executive Planner (Ref. No: S5 25/109 refers).

**ORDER:-**

Having considered the said request, the report of the Executive Planner, and the record forwarded to the Council by An Coimisiún Pleanála. in compliance with Sub-Section 6(c) of the said Section I have concluded that a declaration on the questions in the said request should be made in the terms of that in the Schedule to this Order, the main reasons and considerations therefore being detailed therein. I therefore Order that the declaration issue to the said requester and the owners/occupiers of the land concerned and, further, that it be entered in the Council's Planning Register in compliance with Sub-Section (5) of the said Section.

  
SENIOR EX. PLANNER

DATED THIS 23<sup>rd</sup> DAY OF JANUARY 2026

**Chief Executive's Order No: 2026PH0192**

**Ref.No: S5 25/109**

**SCHEDULE**

**IT IS HEREBY DECLARED THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE**

**IS** Development

**IS** Exempted Development

**WITHIN THE MEANING OF THE ABOVE ACT**

**The Planning Authority in considering this referral, had regard particularly to:**

- Section 2, 3, and 177U of the Planning and Development Act, 2000 (as amended)
- Articles 6(3), 9(1) and Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended).

**And concluded that:**

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS EXEMPTED DEVELOPMENT** as it comes within the scope of Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) and complies with relevant limitations to the Class exemptions.

JS 23/01



**Comhairle Contae  
Dhún na nGall**  
Donegal County Council

Áras an Chontae,  
Leifear,  
Contae Dhún na nGall, F93 Y622

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County Donegal, F93 Y622

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**Planning Services**  
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Ref. No: S525/109

23<sup>rd</sup> January 2026

MARTIN KEENAN



**Re: Conversion of existing attached garage to proposed bedroom plus associated works including new front window and blocking up of existing window opening to side elevation at 4 The Steeples, Ramelton, Letterkenny, Co. Donegal, F92 PD86**

A Chara,

I refer to your request received on 18<sup>th</sup> December 2025 under Section 5 of the Planning and Development Act, 2000 (as amended). Same has now been decided and I now issue to you herewith the Council's Declaration thereon. You are now advised that, in accordance with Section 5 (3) (a) of the Planning & Development Act, 2000 (as amended) where a Declaration is issued, any person issued with such a Declaration may, on payment to An Coimisiún Pleanála. of such fee as may be prescribed, refer a Declaration for review by the Commission within 4 weeks of the date of issuing of the Declaration.

Mise, le meas,

**For Senior Ex. Planner  
Planning Services**

/RMcC

***Planning and Development Acts, 2000 (as amended)***  
***(Declaration and Referral on Development and Exempted Development)***

**DECLARATION**

**Chief Executive's Order No:** 2026PH0192

**Reference No:** S525/109

**Name of Requester:** MARTIN KEENAN



**Summarised Description of development the subject matter of request:**

Conversion of existing attached garage to proposed bedroom plus associated works including new front window and blocking up of existing window opening to side elevation

**Location:** 4 The Steeples, Ramelton, Letterkenny, Co. Donegal, F92 PD86

**IT IS HEREBY DECLARED THAT THE SUBJECT MATTER OF THE REQUEST AS ABOVE**

**IS** Development

**IS** Exempted Development

**WITHIN THE MEANING OF THE ABOVE ACT**

**The Planning Authority in considering this referral, had regard particularly to:**

- Section 2, 3, and 177U of the Planning and Development Act, 2000 (as amended)
- Articles 6(3), 9(1) and Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended).

**And concluded that:**

The proposal **IS DEVELOPMENT** within the meaning of the Planning and Development Act, 2000 (as amended) and **IS EXEMPTED DEVELOPMENT** as it comes within the scope of Class 1 of Part 1 of Schedule 2 of the Planning & Development Regulations 2001 (as amended) and complies with relevant limitations to the Class exemptions.

A handwritten signature in black ink, appearing to be 'M. Keenan', written over a horizontal line.

**For Senior Ex. Planner**  
**Planning Services**

**Dated this 23<sup>rd</sup> day of January 2026**